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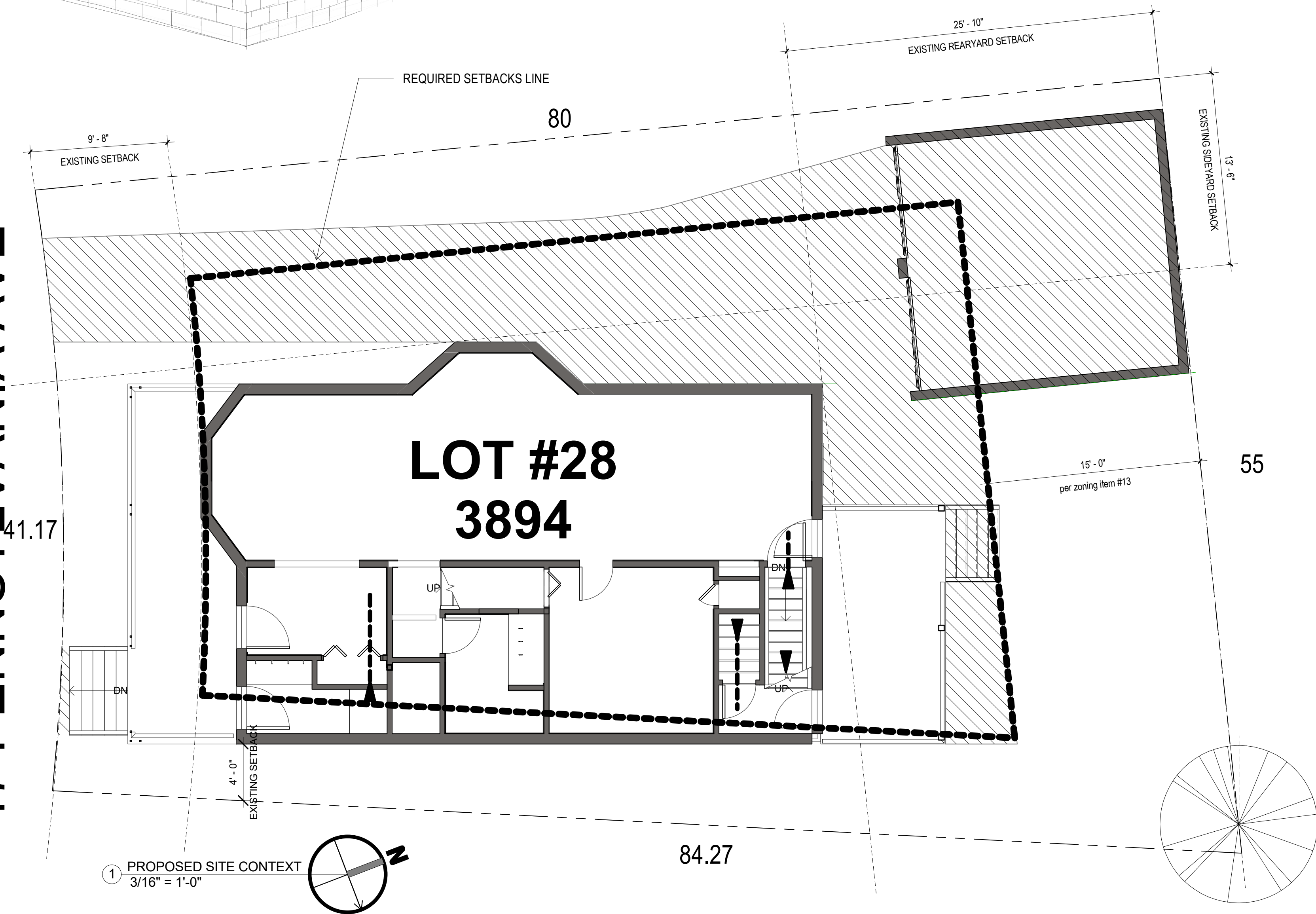


project number 116 drawing number A000 revision 4 07/17/2019

Index of Drawings

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A210	BUILDING SECTIONS
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47 PENNSYLVANIA AVE



For Review

CLIENT NAME:
BRIAN TAMM & NANCY CAMPBELL

CLIENT ADDRESS:
47 Pennsylvania Avenue Somerville, MA 02145

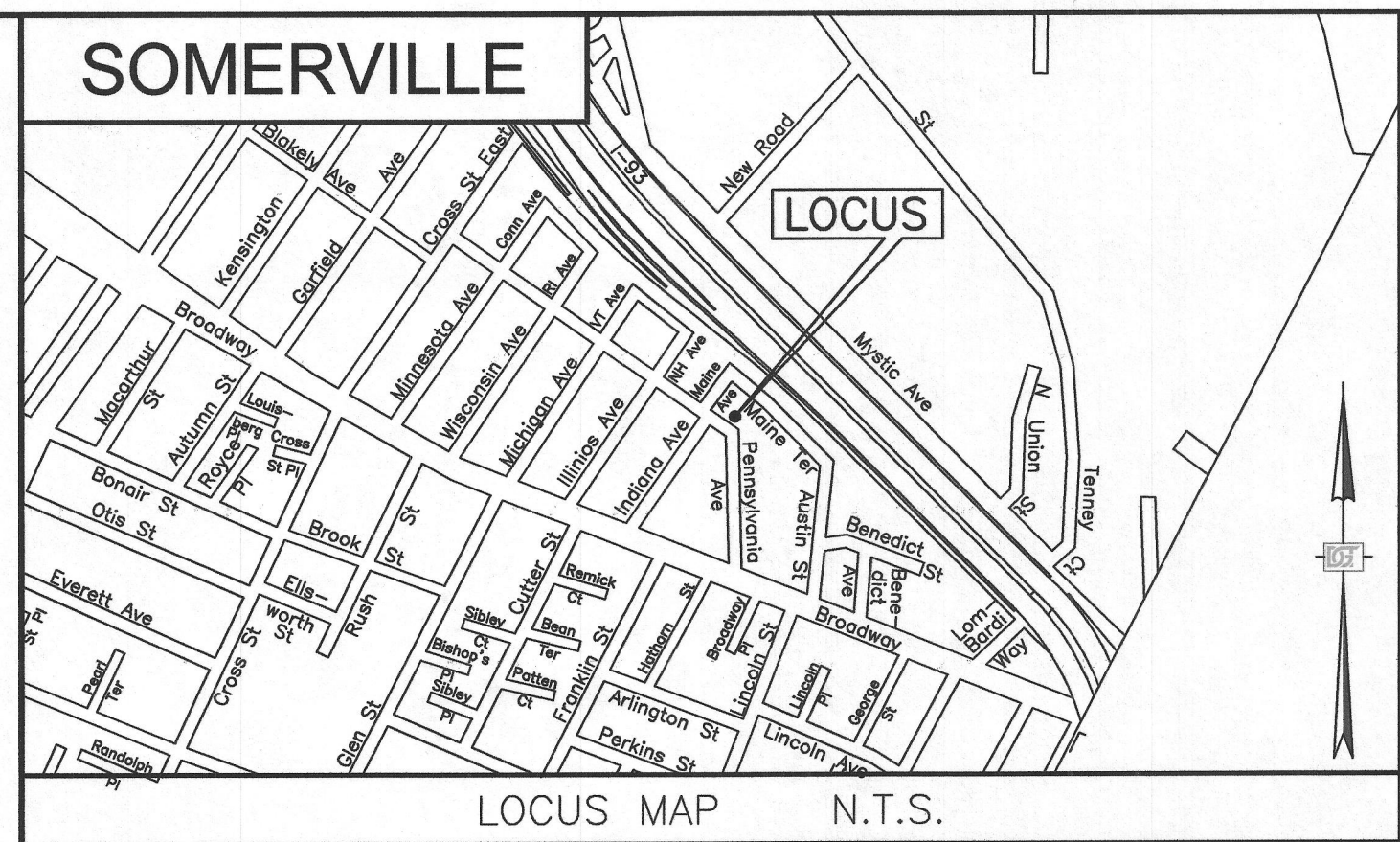
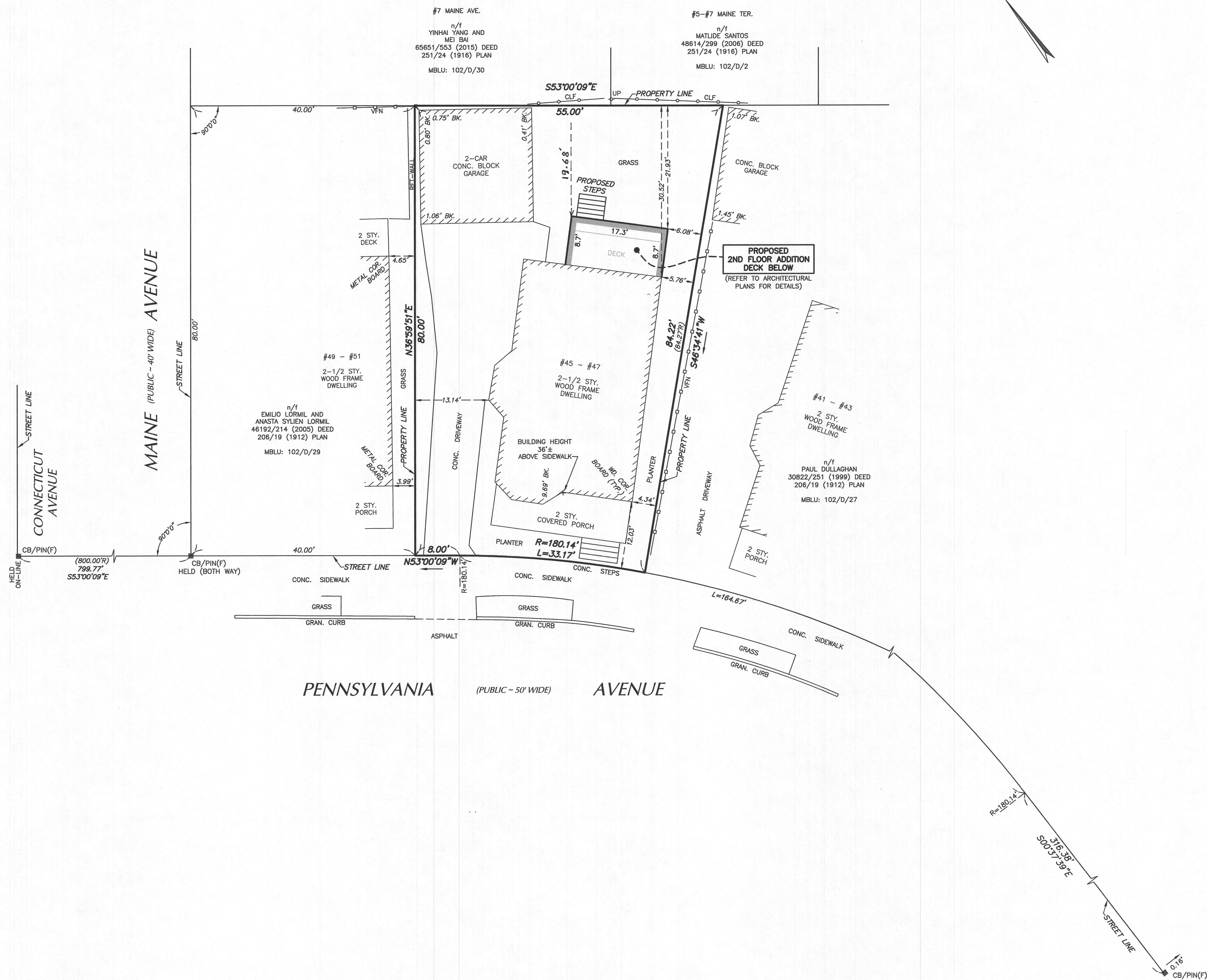
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e: info@joethearchitect.com
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J t A

PROJECT NAME:
PENNSYLVANIA AVENUE SOMERVILLE

PROJECT ADDRESS:
**47 Pennsylvania Ave
Somerville, MA 02145**

PROJECT NO: 116
ISSUE DATE: 07/17/2019
7/17/2019 10:48:19 AM



LEGEND:

BK.	BACK
CB(F)	CONCRETE BOUND FOUND
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
COR.	CORNER
GRAN.	GRANITE
(R)	RECORD
RET	RETAINING
STY.	STORY
(TYP.)	TYPICAL
UP	UTILITY POLE
VFN	VINYL FENCE
WD.	WOOD

REFERENCE

OWNER OF RECORD: n/f BRIAN B. TAMM
38391/594 (2003) DEED
206/19 (1912) PLAN
AREA = 3,894± SQ. FT.
PARCEL ID: 102/D/28

REFERENCE

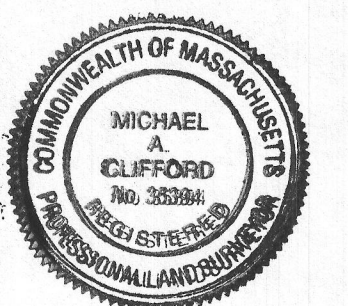
CITY OF SOMERVILLE ENGINEERING RECORDS
"PENNSYLVANIA AVE. FOR ACCEPTANCE", DATED: OCTOBER 1914.
MIDDLESEX COUNTY REGISTRY OF DEEDS
PLAN 542 OF 2013
PLAN 251/24 (1916)

NOTES

- 1) FIELD SURVEY PERFORMED: MAY 13 AND 15, 2019.
- 2) FOR PROPOSED ADDITION REFER TO PLANS BY JOE THE ARCHITECT.

I HEREBY CERTIFY THAT:

THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY.



Michael A. Clifford
PROFESSIONAL LAND SURVEYOR

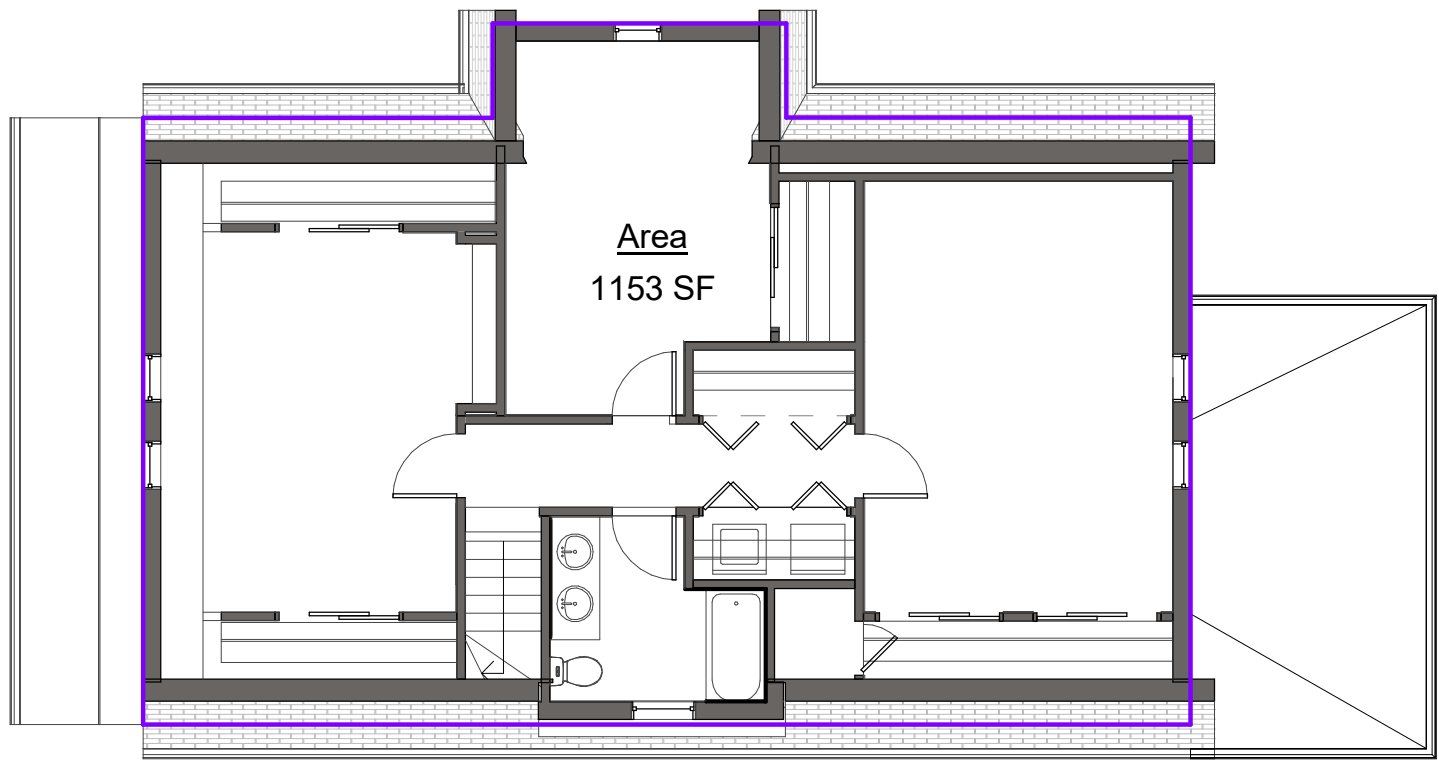
23-MAY-2019
DATE

SCALE: 1" = 10'
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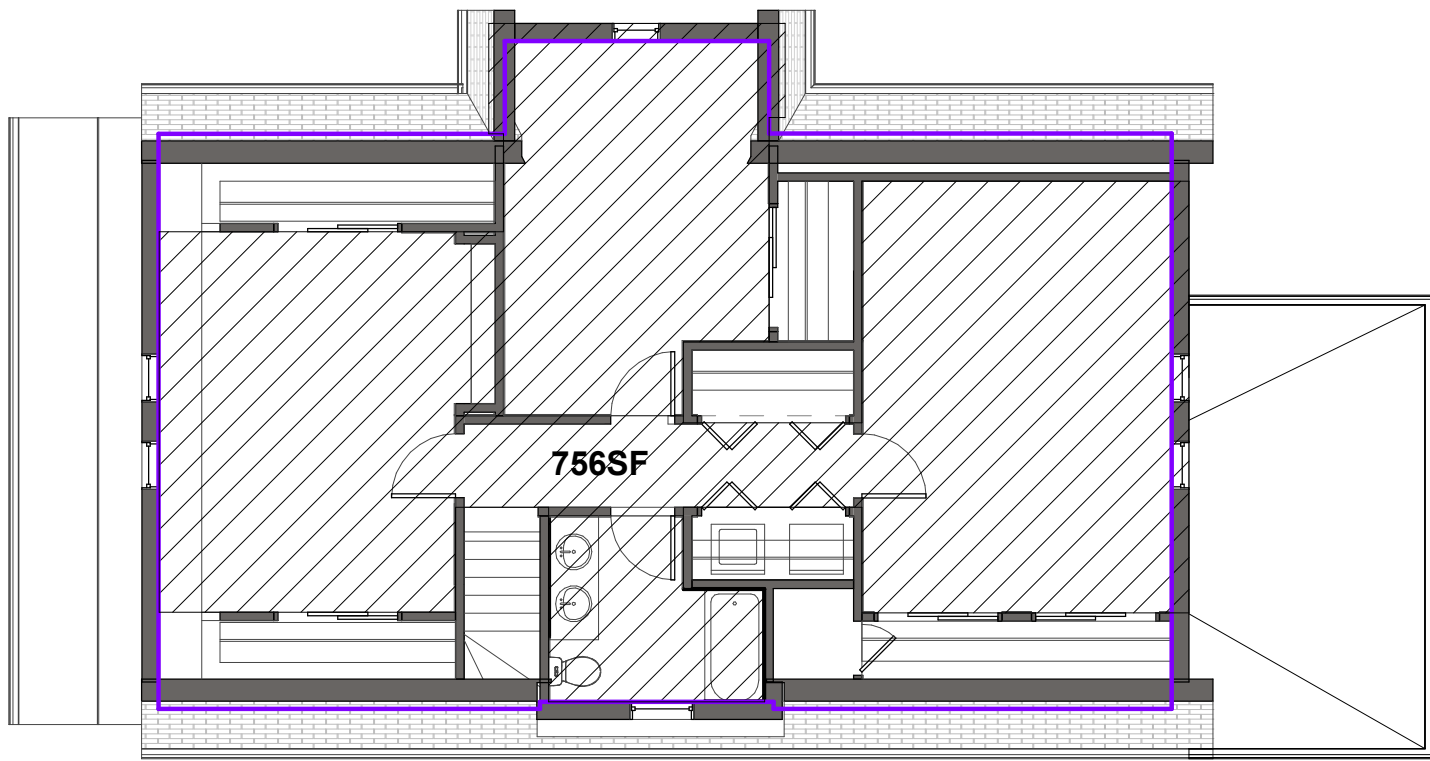
BY:	DESCRIPTION:	DATE:	REV: 0
DRAWING NO.:	S-1492_00PL01.DWG		

45-47 PENNSYLVANIA AVENUE		RESEARCH: D. CLIFFORD
PLAN OF LAND IN SOMERVILLE, MASSACHUSETTS MIDDLESEX COUNTY		FIELD: A. RUSH
PREPARED FOR: BRIAN TAMM		CALCULATION: B.T.
PREPARED BY: DGT Associates Surveying & Engineering		DRAFTING: V.V.
617.275.0541 www.DGTassociates.com		CHECK: M.A. CLIFFORD, PLS.
803 SUMMER STREET, 1ST FLOOR, BOSTON, MA 02127		PROJ. MANAGER: B. TALEB
		DATE: 15-MAY-2019
		JOB NO. S-1492.00
		CRD FILE S-1492 - ALL.CRD
		SHEET NO. 1 OF 1

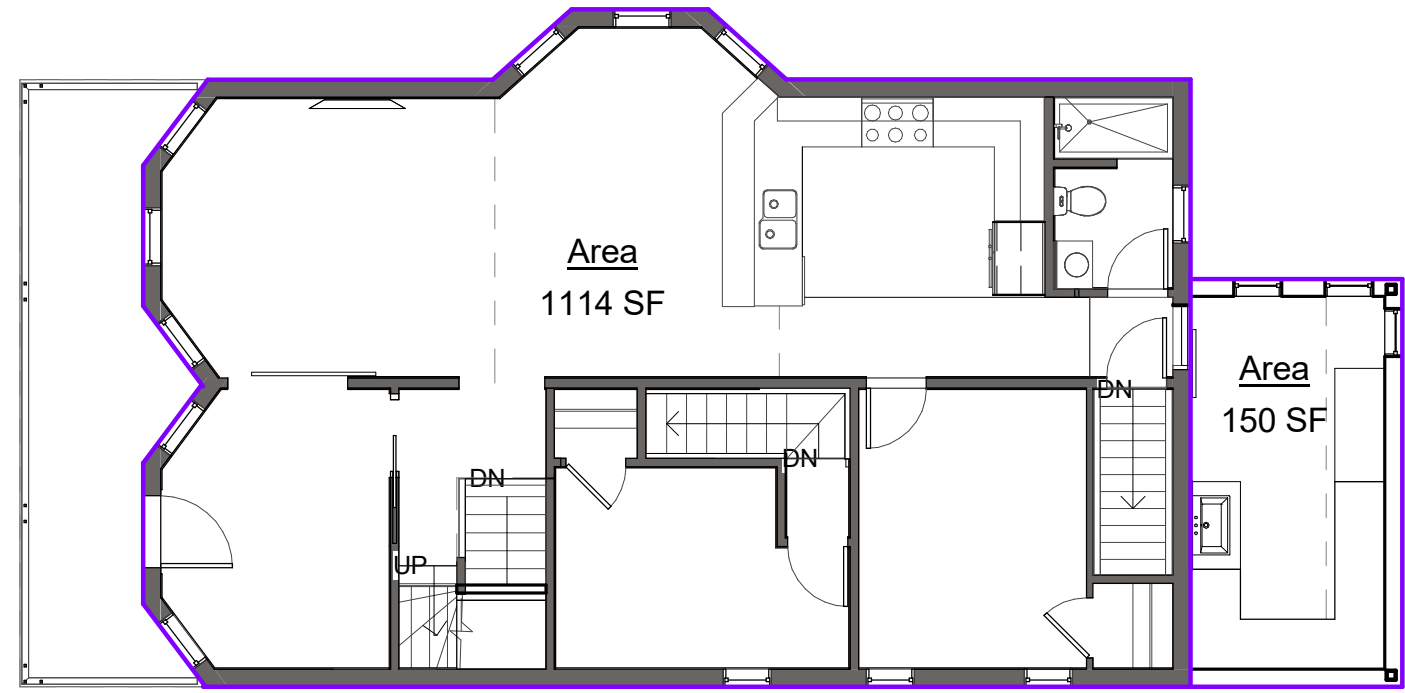
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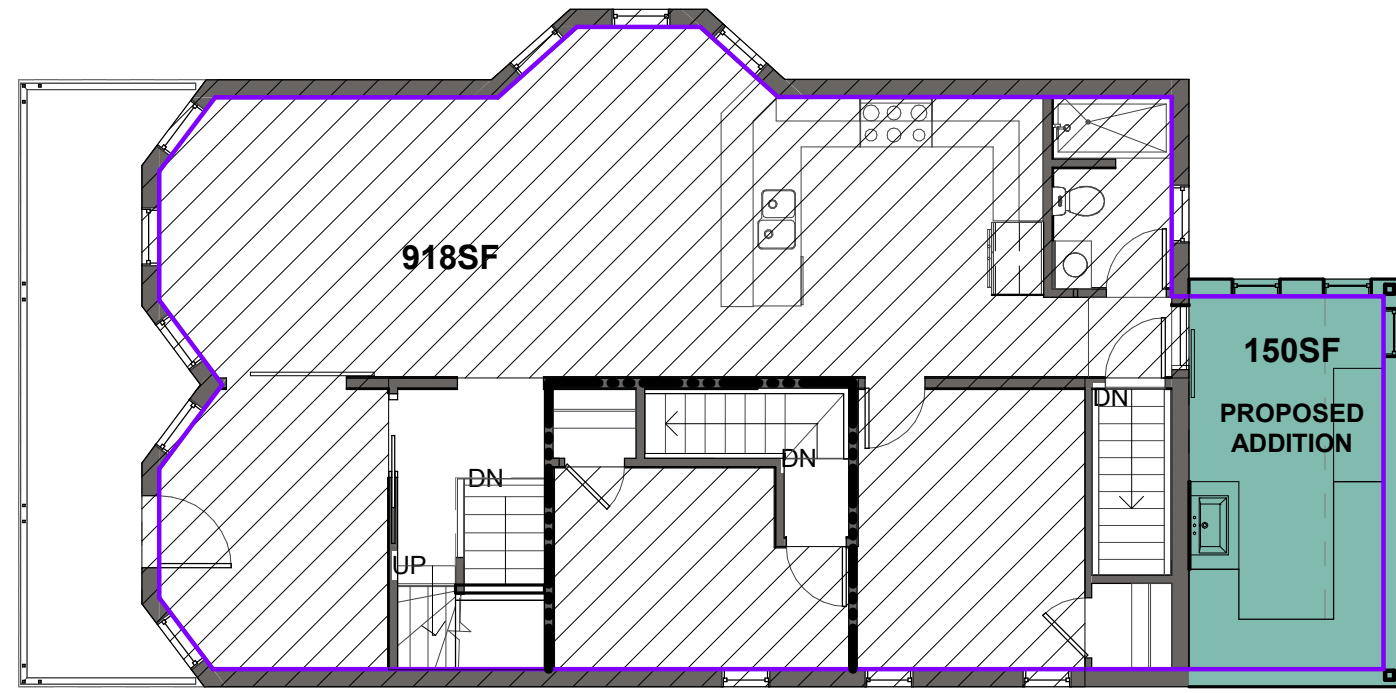
④ THIRD FLOOR GROSS AREA 1,153SF
1/8" = 1'-0"



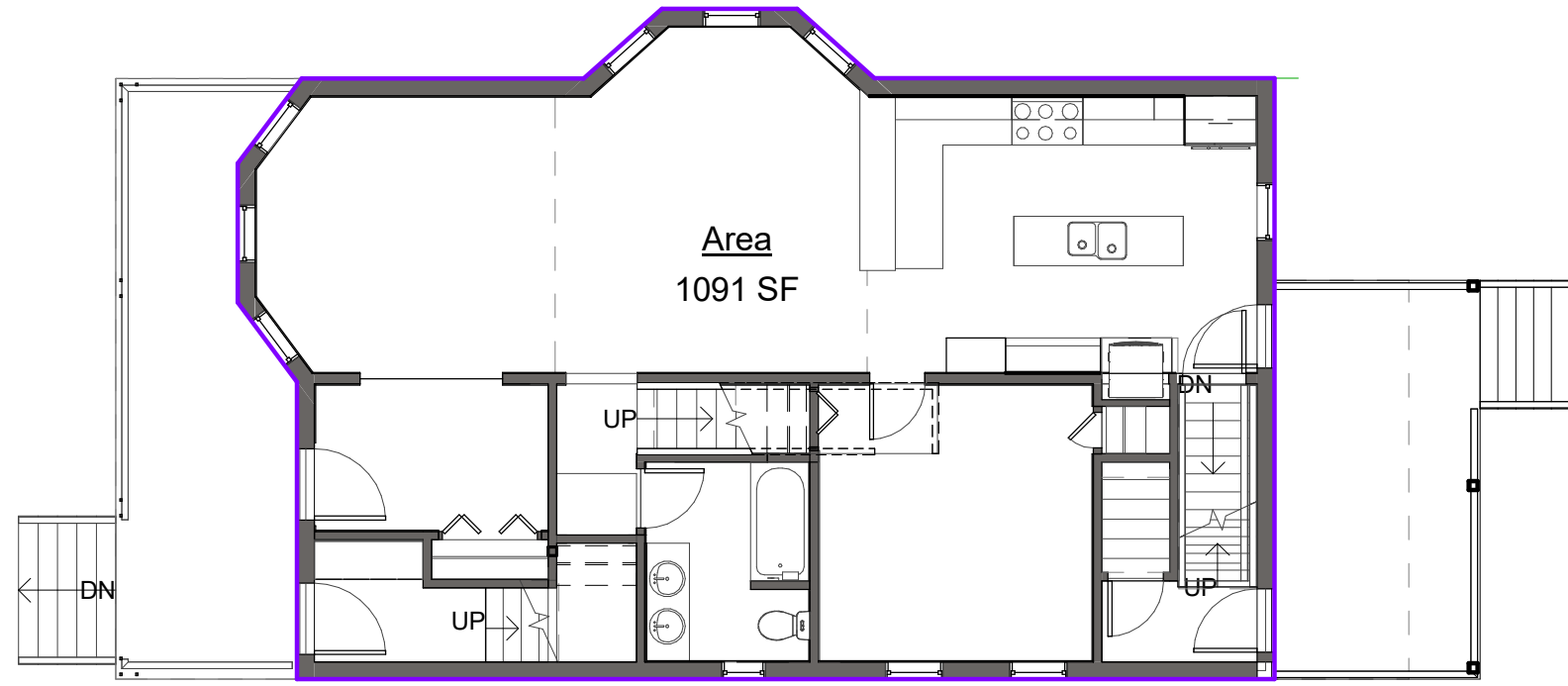
⑧ THIRD FLOOR NET AREA 756SF
1/8" = 1'-0"



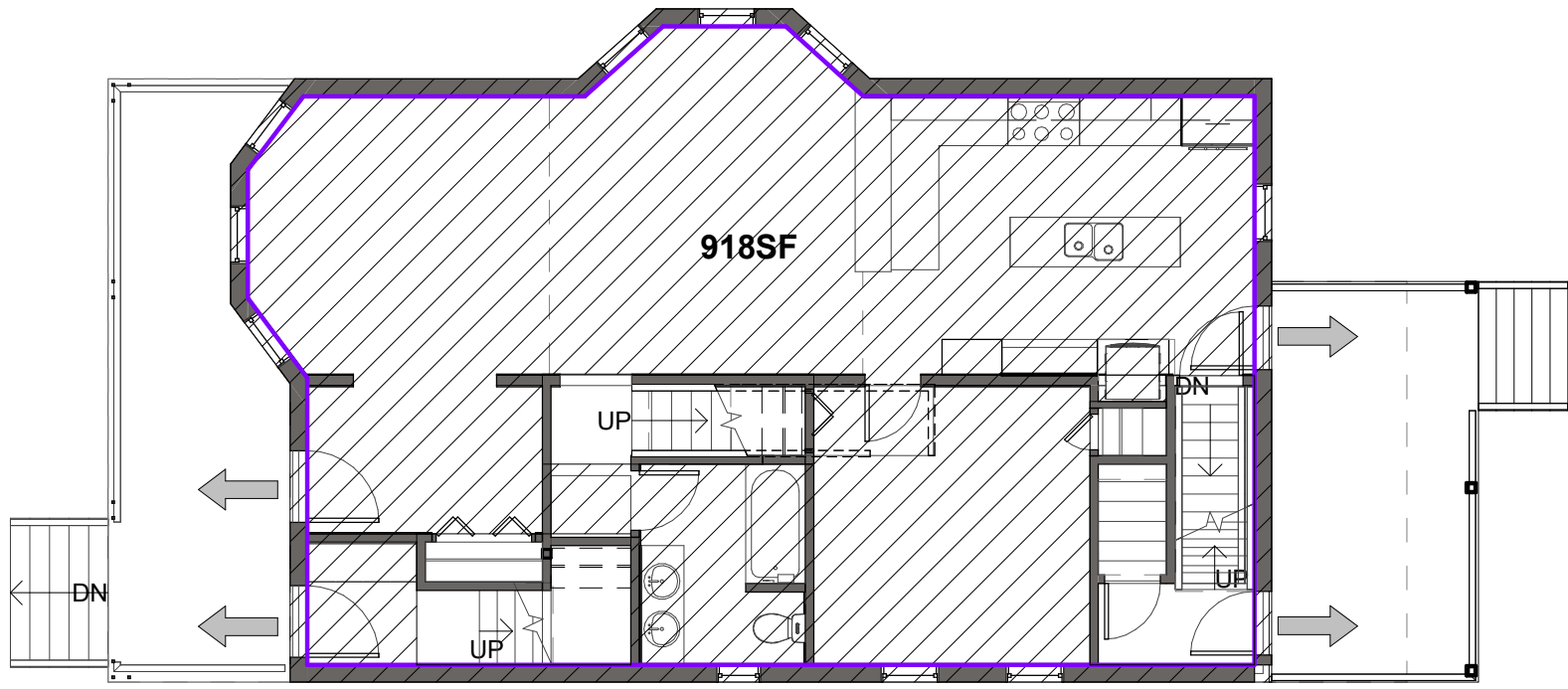
③ SECOND FLOOR GROSS AREA 1,114SF
1/8" = 1'-0"



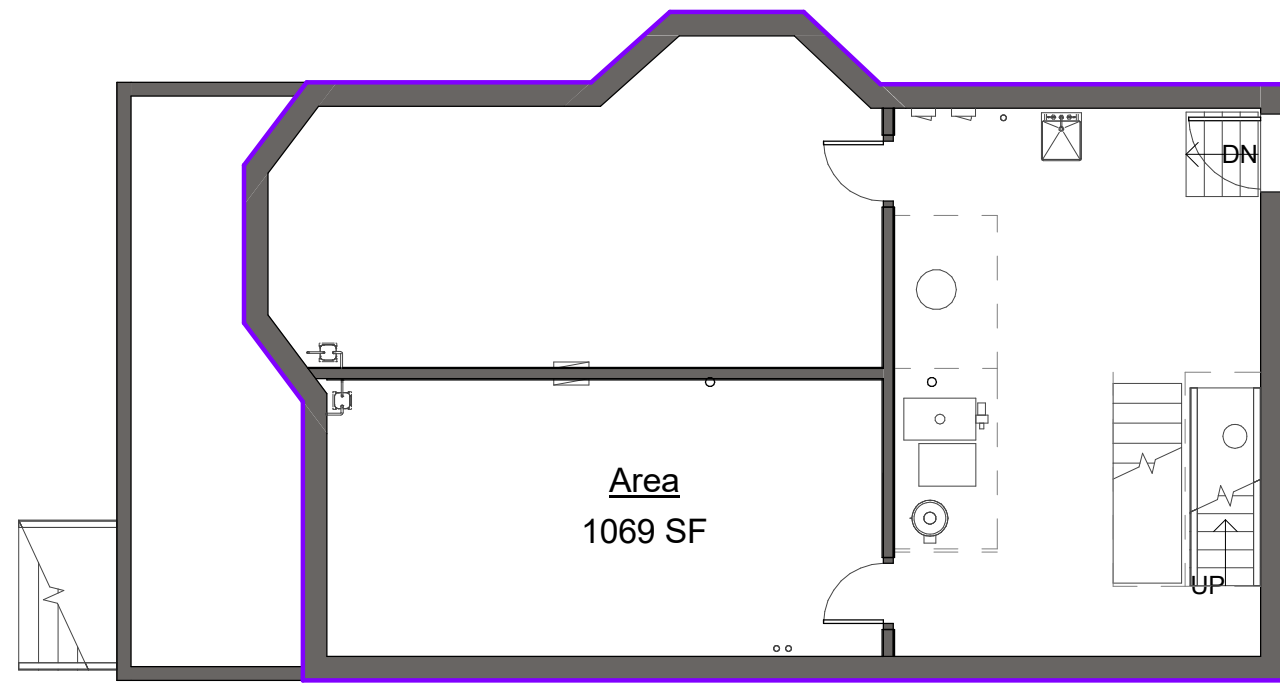
⑦ SECOND FLOOR NET AREA 918SF
1/8" = 1'-0"



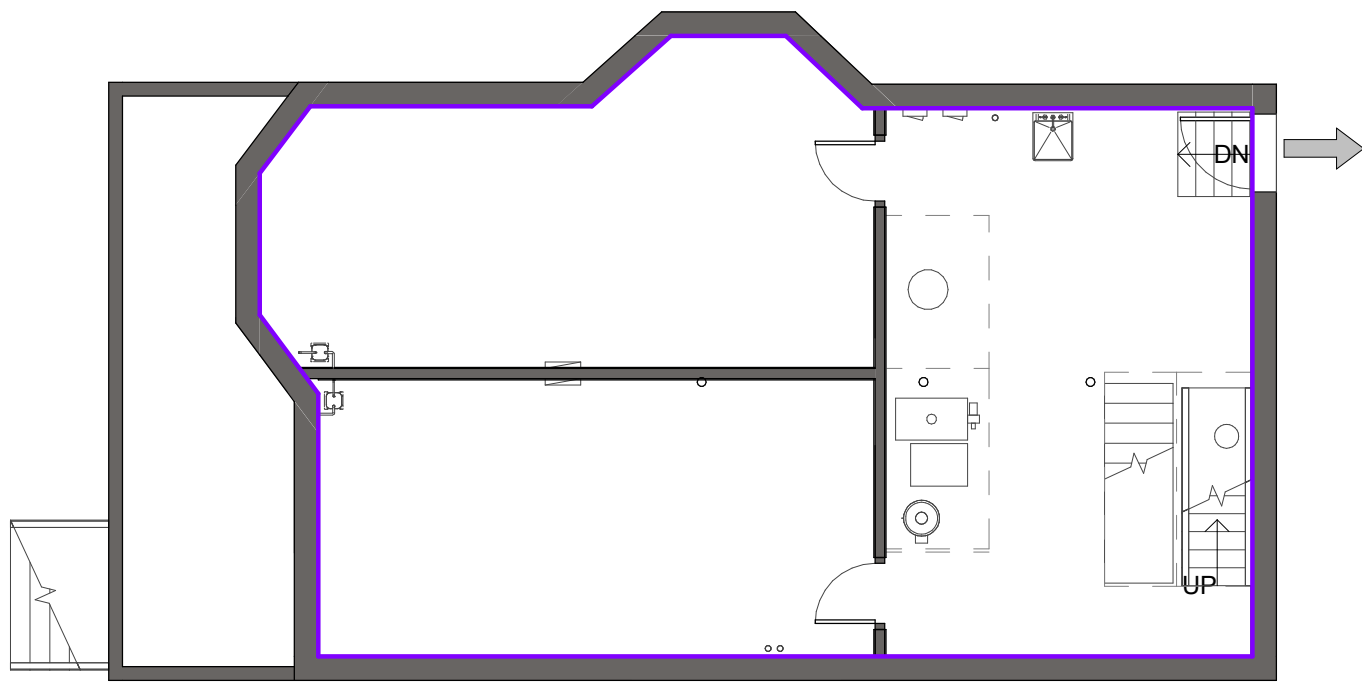
② FIRST FLOOR GROSS AREA 1,091SF
1/8" = 1'-0"



⑥ FIRST FLOOR NET AREA 918SF
1/8" = 1'-0"



① BASEMENT GROSS AREA 1,069SF
1/8" = 1'-0"



⑤ BASEMENT NET AREA
1/8" = 1'-0"

GROSS AREA DIAGRAMS

TOTAL GROSS FLOOR AREAS

EXISTING: 4,427 SF
PROPOSED: 4,577SF

NET AREA DIAGRAMS

TOTAL NET FLOOR AREAS

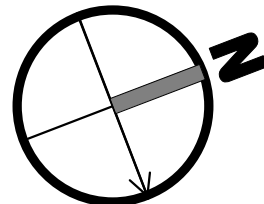
EXISTING: 2,592SF
PROPOSED: 2,742SF

PROJECT DATA				
PROPERTY CLASS	TWO FAMILY			
MAP/LOT	8/K/10			
NEIGHBORHOOD	0000 - RA			
CITY OF SOMERVILLE ZONING ORDINANCE (AS AMMENDED NOVEMBER 26,2013)				
APPLICABLE CODES & REGULATIONS				
BUILDING	-780 CMR Massachusetts state building code (MSBC) 9th edition -international building code (ibc) 2015			
ENERGY	-International energy conservation code (IECC) 2015, with MA amendments			
PLUMBING	-248 CMR 10.00 Massachusetts uniform state plumbing code -Massachusetts general law (MGL) chapter 128 section 26G (auto sprinkler systems)			
ACCESSIBILITY	-521 CMR Massachusetts Architectural Access Board (MAAB) 1/27/06 - 2010 American Disability Act (ADA) standards			
SECTION 8.5 TABLE OF DIMENSIONAL REQUIREMENTS - CITY OF SOMERVILLE				
		REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE		10,000 SF	3,894 SF	3,894 SF
MINIMUM LOT AREA DWELLING/UNIT		2,250 SF	1,947 SF	1,947 SF
MAXIMUM GROUND COVERAGE		50%	36%	36%
LANDSCAPED AREA (MIN % OF LOT)		25%	36%	36%
GROSS FLOOR AREA		----	4,427	4,577
NET FLOOR AREA		----	2,592	2,742
FLOOR AREA RATIO (FAR)*		75%	66%	70%
MAXIMUM BUILDING HEIGHT		35 FT	35 FT	35 FT
MAXIMUM STORIES		2 1/2	2 1/2	2 1/2
MINIMUM FRONT YARD		15'-0"	9'-8"	9'-8"
MINIMUM SIDE YARD SETBACK WITH REDUCTION OF SIDE YARD FOR NARROW LOTS *(10)	LEAST WIDTH OF SIDE YARD	7' - 3"	4' - 0"	4' - 0"
	SUM WITH BOTH SIDE YARD	15' - 6"	17' - 6"	17' - 6"
MINIMUM REAR YARD *(13)		15' - 0"	25' - 10"	25' - 10"
MINIMUM FRONTAGE		50 FT	41 FT	41 FT
PERVIOUS AREA (MIN % OF LOT)		35%	37%	35%

*SECTION 8.5 TABLE OF DIMENSIONAL REQUIREMENTS FOOTNOTES 10 & 13

BASEMENT SQUARE FOOTAGE IS NOT INCLUDED IN FAR CALCULATIONS

CONTRACTOR SHALL CONFORM TO ALL CODES, ORDINANCES ETC. AND RETAIN RESPONSIBILITY FOR JURISDICTION OVER THE WORK. ALL WORK SHALL COMPLY WITH LATEST REVISIONS OF ALL APPLICABLE CODES AND ORDINANCES INCLUDING THE FOLLOWING:



PROJECT ROSTER

CLIENT

Brian Tamm & Nancy Campbell
47 Pennsylvania Avenue
Somerville, MA 02145

ARCHITECTURE

Alex Siekierski
Project Manager
Joe The Architect, LLC
343 Medford Street, 4C
Somerville, MA 02145
Phone: 617-764-3593
alex@joethearchitect.com

STRUCTURE

Carmine Guarracino, P.E.
Principal
Roome & Guarracino LLC
48 Grove Street
Somerville, MA 02144
Phone: 617-628-1700x202
Guarracino@RGEng.com

CONTRACTOR

D&R Construction Company
OWNER
Eric Dutra
52 Berkshire Street.
Cambridge, MA 02141
617-378-8975
ericdutra@dandrconstructionco.com

For Review

WARNING:
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Eric Dutra
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ericdutra@dandrconstructionco.com

stamp:



revision	revision description	date
2	FOR PERMIT	03/27/2019
3	FOR APPROVAL	05/24/2019
4	FOR APPROVAL R1	07/17/2019

project title:
PENNSYLVANIA AVENUE SOMERVILLE

47 Pennsylvania Ave
Somerville, MA 02145

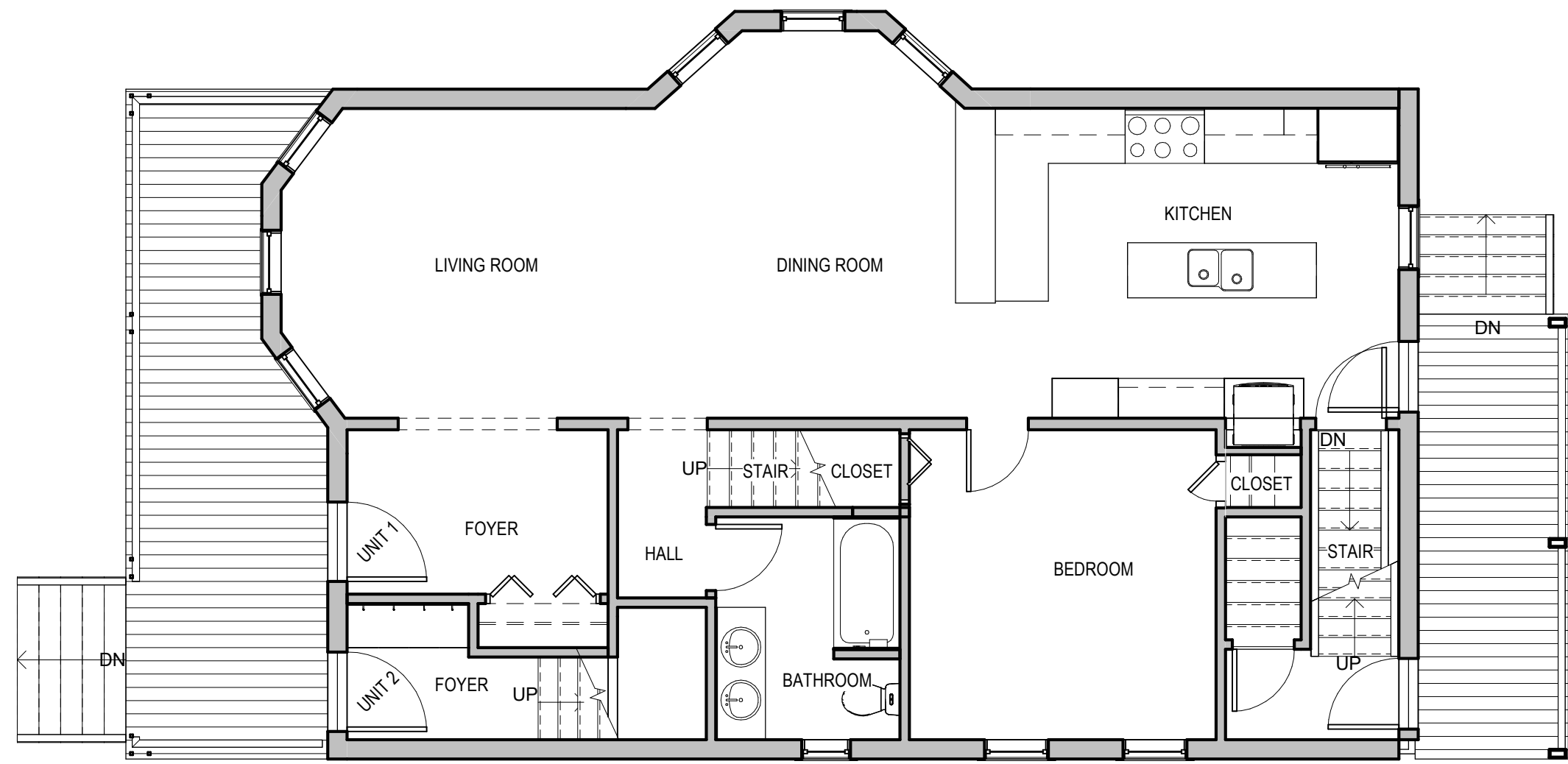
client information:
BRIAN TAMM &
NANCY CAMPBELL

47 Pennsylvania Avenue
Somerville, MA 02145

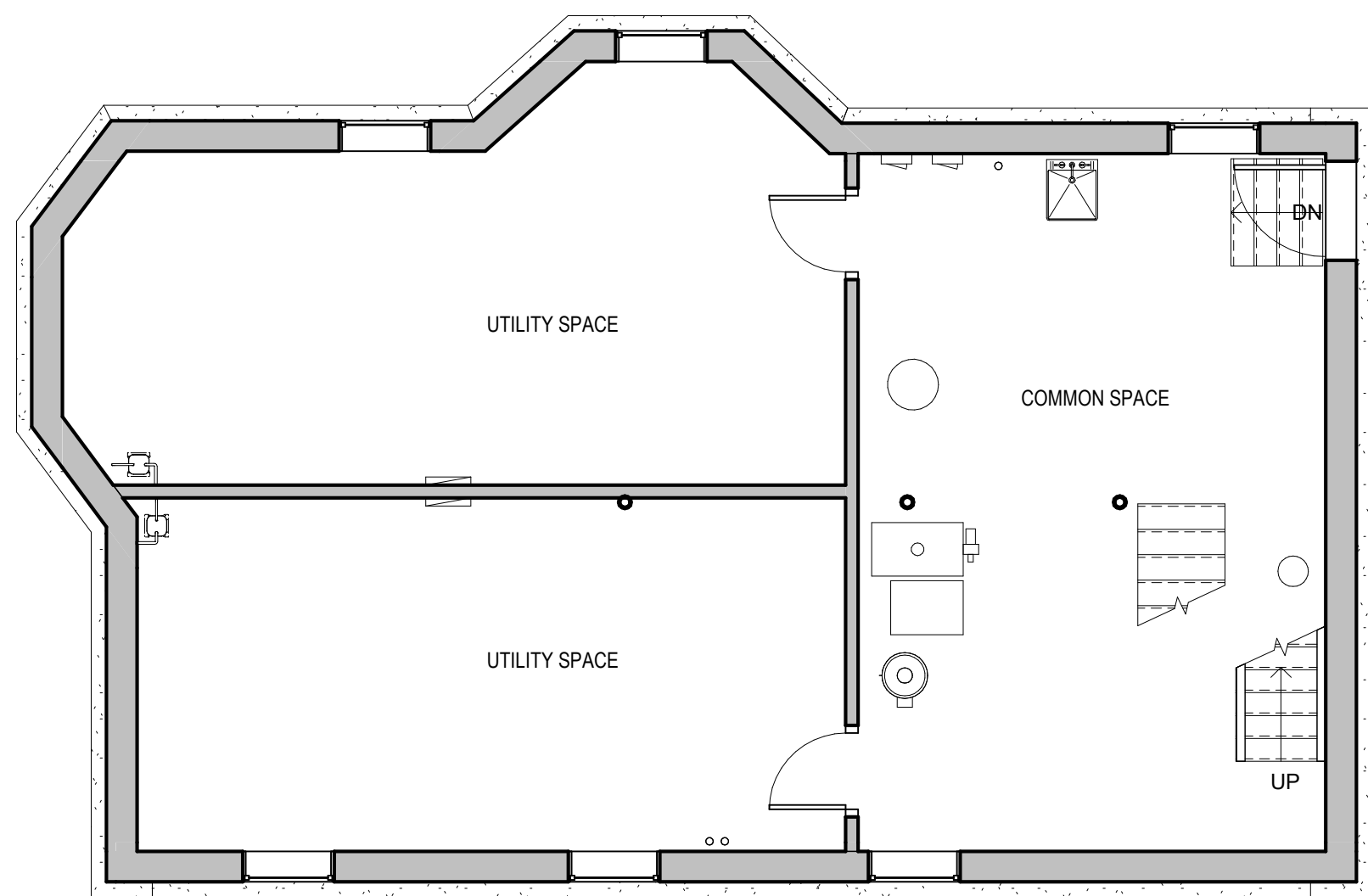
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drawing title
**CODES/REGULATIONS
AND AREA PLANS**

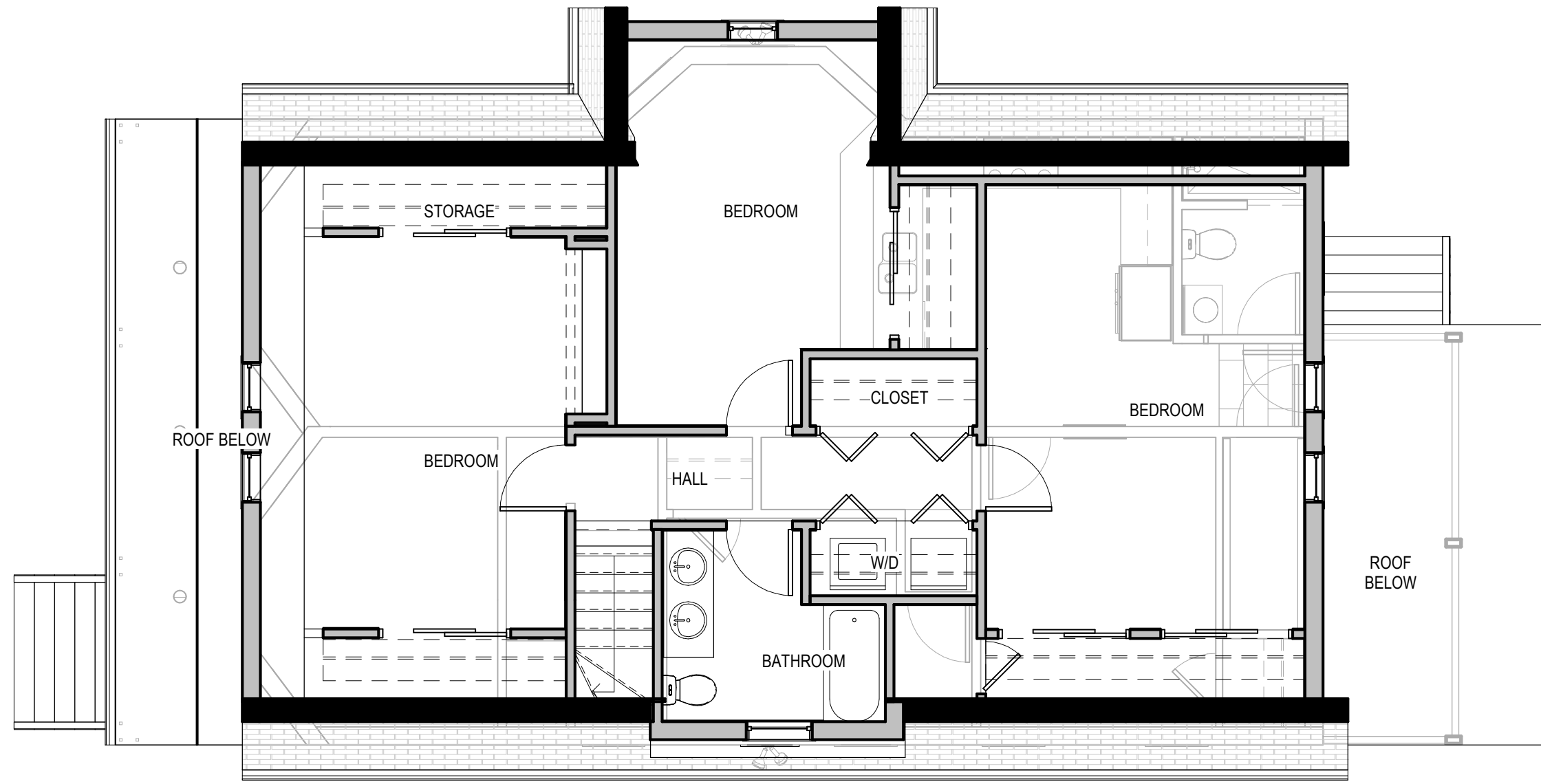
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116	As indicated	Approver
drawing number	revision	
A001	4	



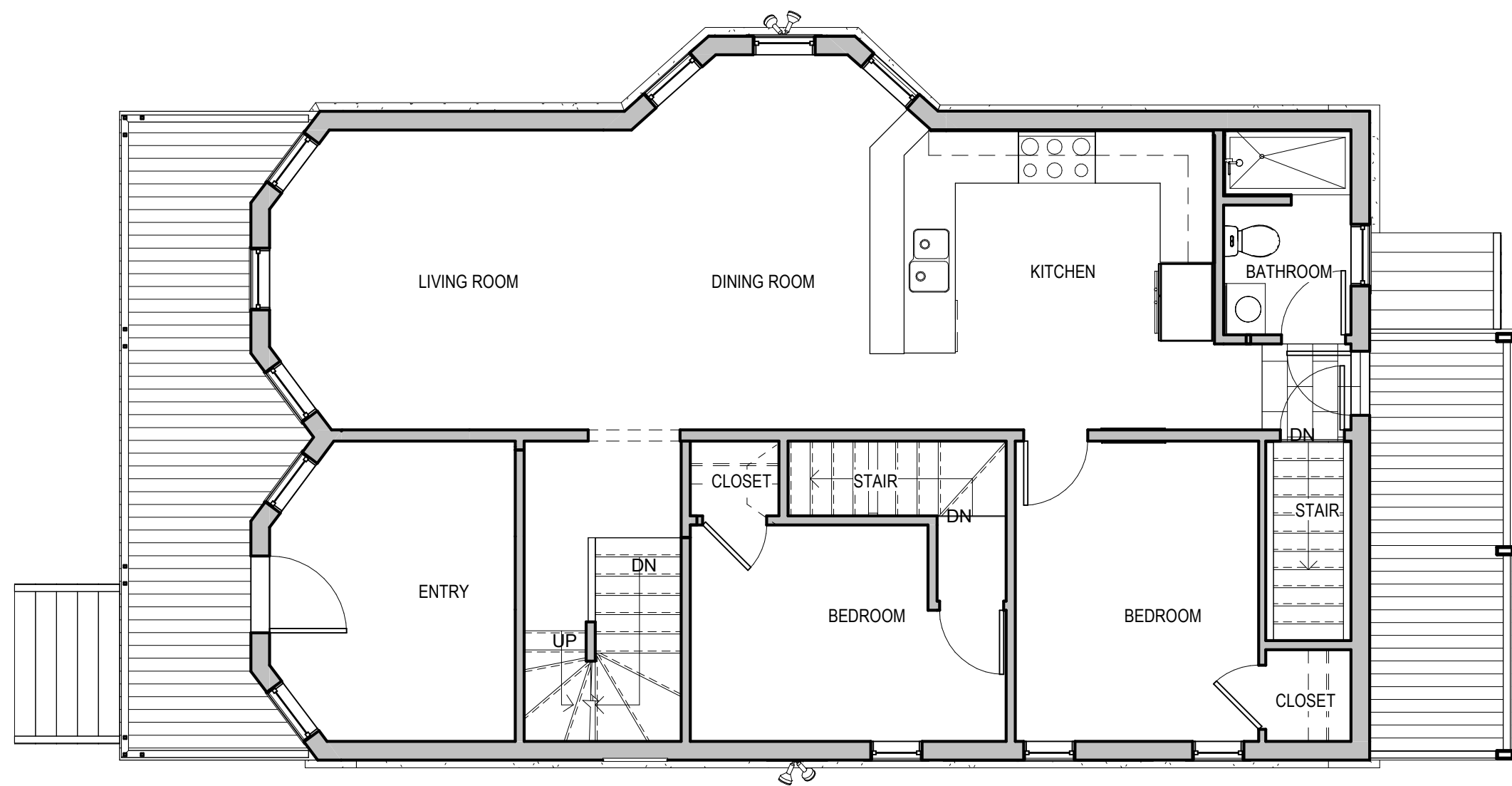
2 EXISTING FIRST FLOOR PLAN
3/16" = 1'-0"



1 EXISTING BASEMENT PLAN
3/16" = 1'-0"



4 EXISTING THIRD FLOOR
3/16" = 1'-0"



3 EXISTING SECOND FLOOR
3/16" = 1'-0"

Construction Legend

- existing full height solid, glazed or part glazed partition to remain.
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
- existing door to remain
- new door
- demolition hatch
- partial area demolition
- NIC - Not In Construct Hatch

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consultant / contractor information:
D&R Construction Company

Eric Dutra
52 Berkshire St. Cambridge, MA 02141
617-378-8975
ericdutra@dandrconstructionco.com

stamp:



revision	revision description	date
3	FOR APPROVAL	05/24/2019
4	FOR APPROVAL R1	07/17/2019

project title:
PENNSYLVANIA AVENUE SOMERVILLE

47 Pennsylvania Ave
Somerville, MA 02145

client information:
BRIAN TAMM &
NANCY CAMPBELL

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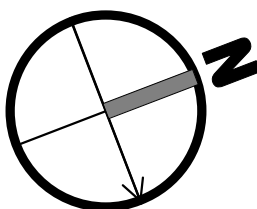
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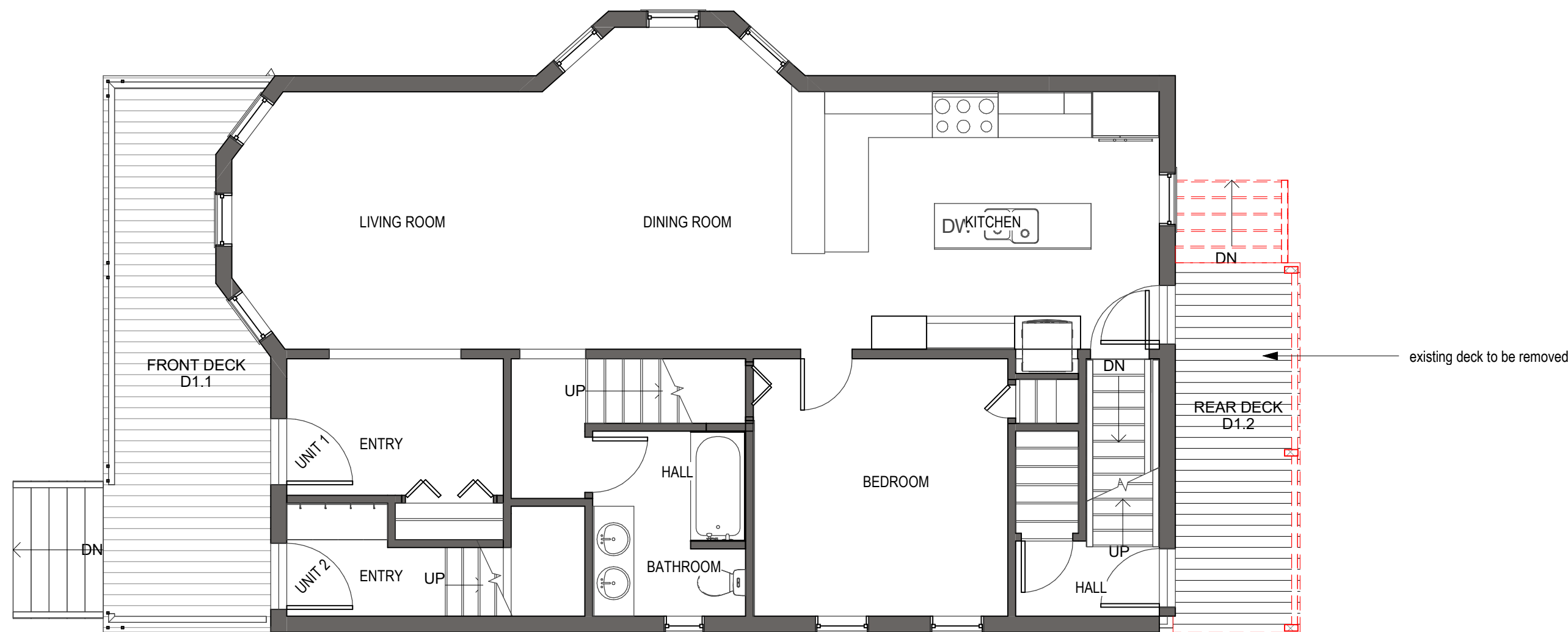
drawing title
EXISTING PLANS

project number	drawing scale	approver
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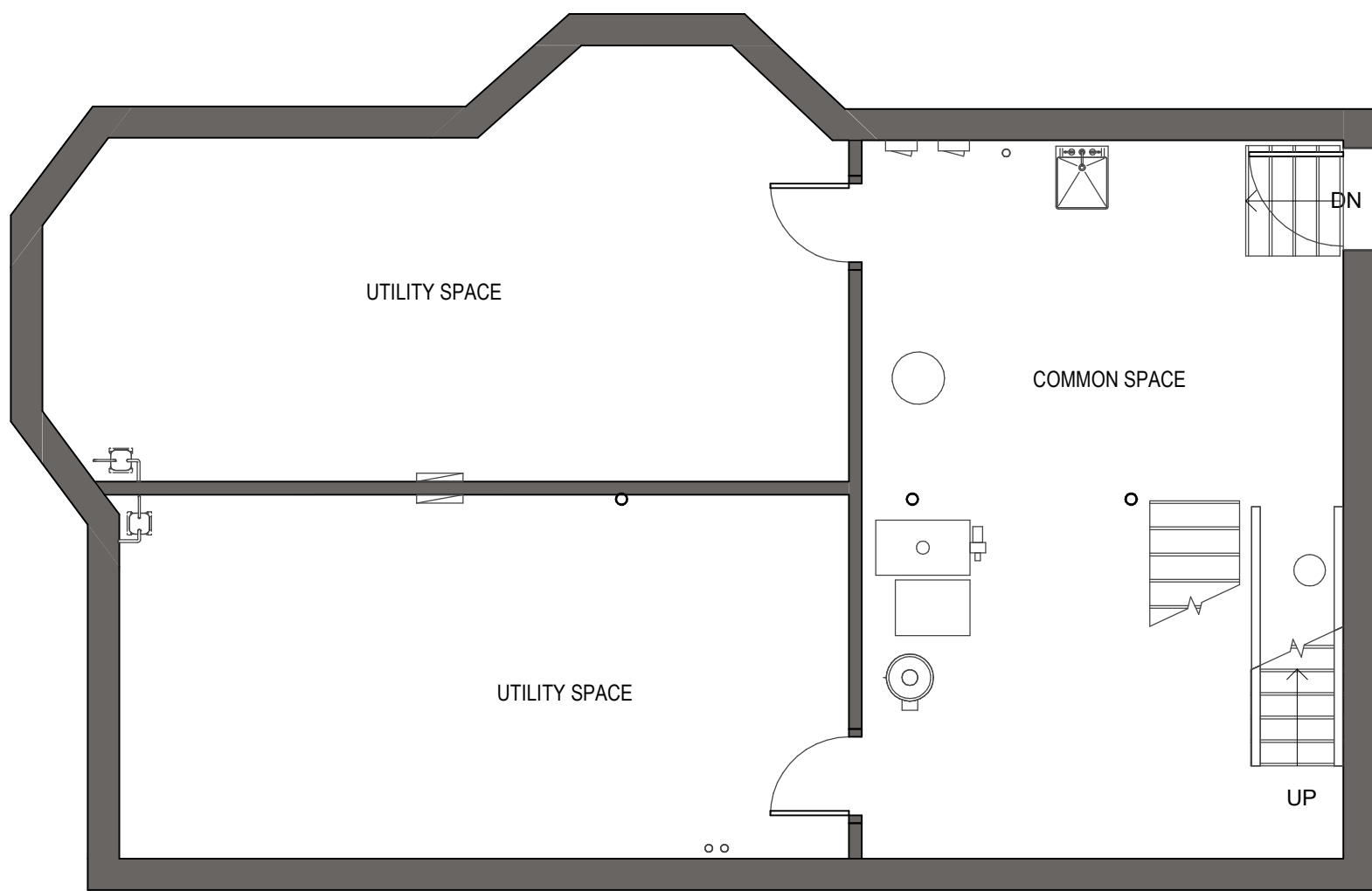
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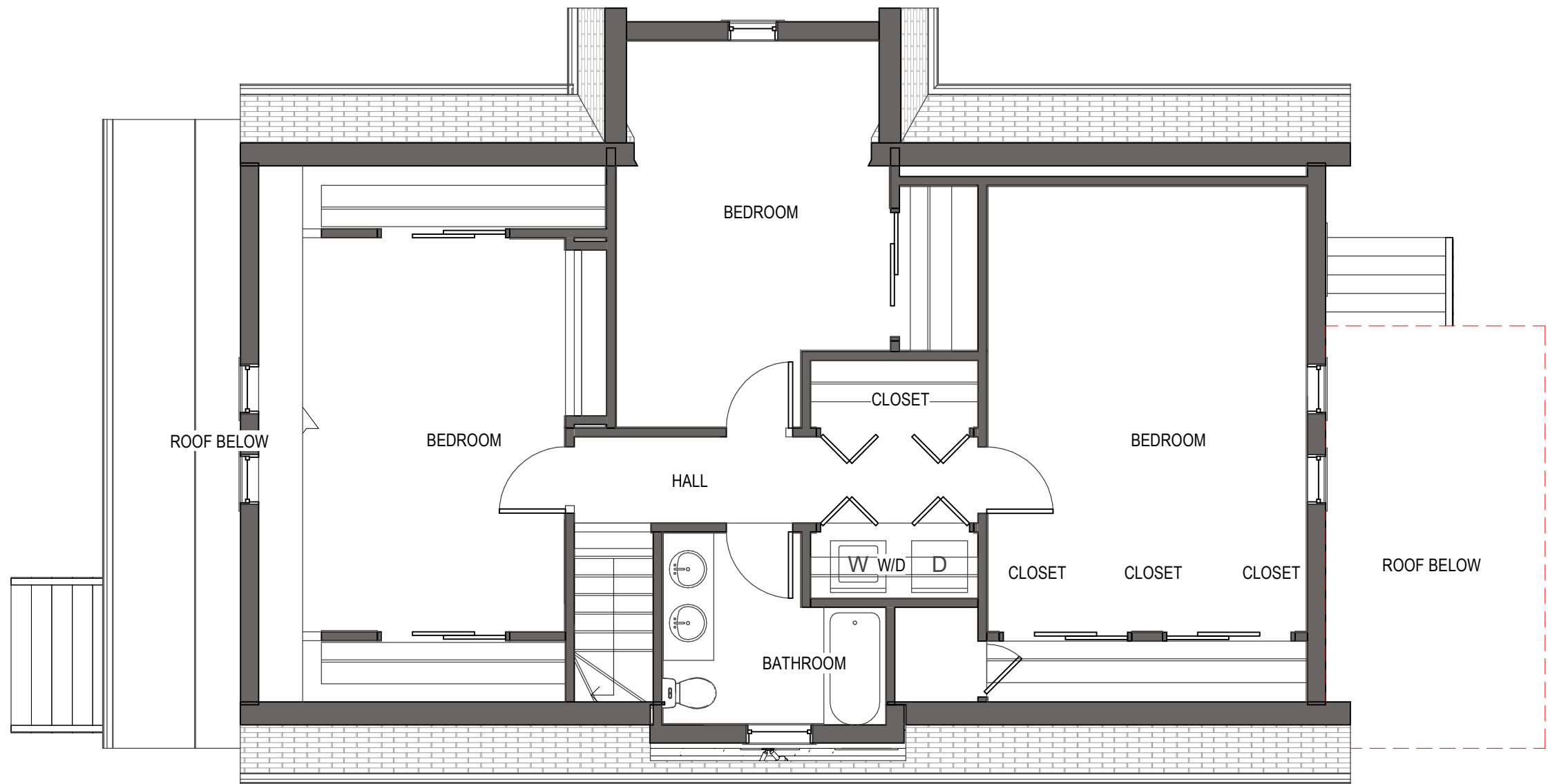
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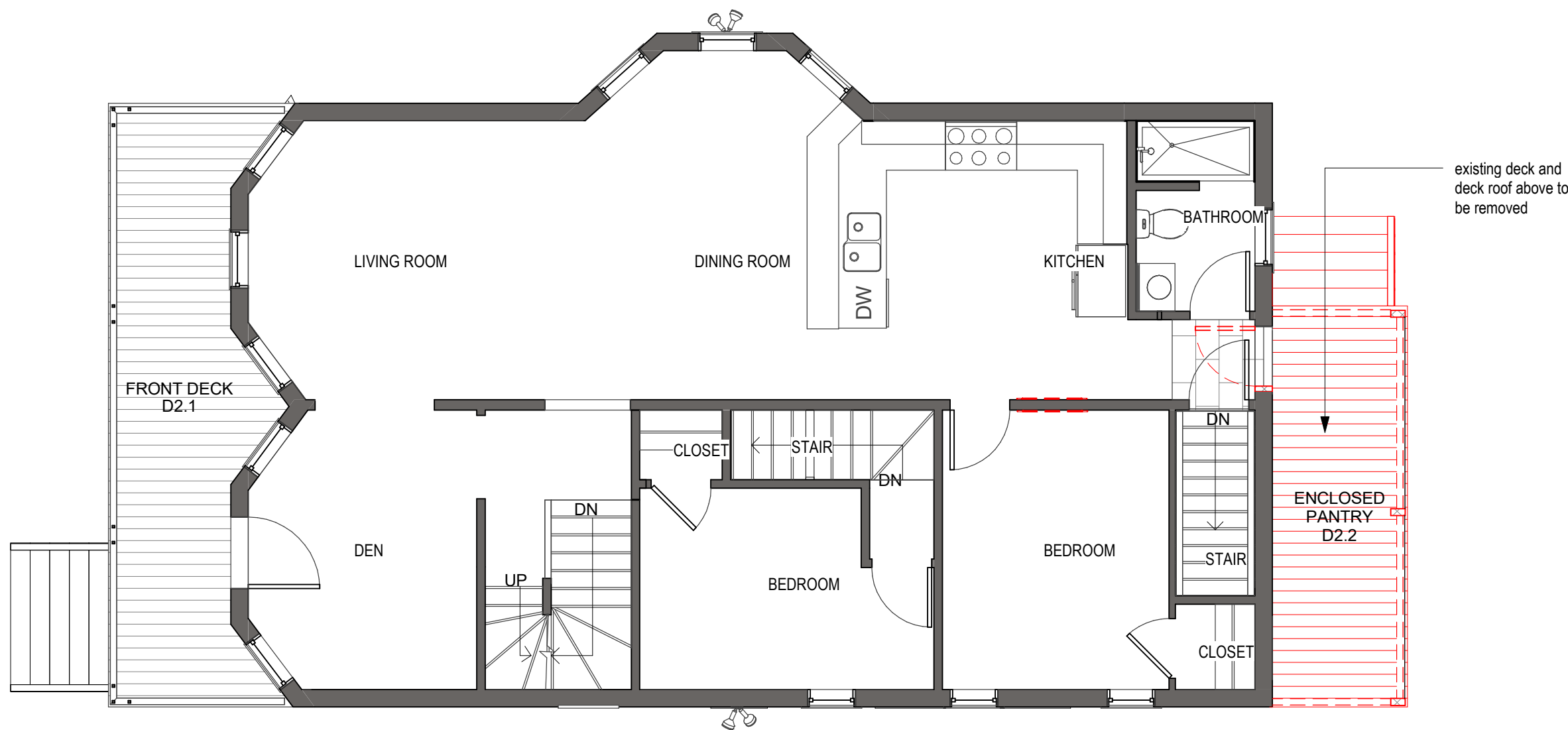
2 FIRST FLOOR DEMOLITION PLAN
3/16" = 1'-0"



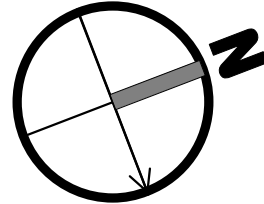
1 BASEMENT DEMOLITION PLAN
3/16" = 1'-0"



4 THIRD FLOOR DEMOLITION PLAN
3/16" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN
3/16" = 1'-0"

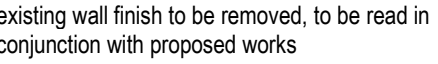


GENERAL DEMO NOTES:

1. Light fixtures indicated are an approximate quantity to give a general scope.
2. All existing lights, including any lights not shown on these plans, are to be removed unless noted otherwise.
3. Contractor to follow the required code or approved removal procedures of asbestos, lead, and other hazardous materials remediation.
4. See Fire Protection, Plumbing, Mechanical, and Electrical drawings for locations of any new ducts, pipes, or components that require new penetrations through existing beams, bearing walls, and all other partitions and floors. See structural drawings for criteria for new openings through structural walls, beams, floors, and roofs, and through masonry partitions
5. All existing fire protection, plumbing, and electrical items that are or will be made inactive in the scope of this project, including existing abandoned items within accessible locations, shall be removed in the scope of this project.
6. Existing interior doors to be removed and replaced, where noted.

DEMOLITION LEGEND:

existing full height solid, glazed or part glazed partition to remain.
existing full height solid, glazed or part glazed partition to be demolished
existing door to be demolished



existing wall finish to be removed, to be read in conjunction with proposed works
review demolition scope in association with proposed works to accurately determine the extent of demolition and the extent of works to be retained. over demolition shall be reinstated at no cost to the proprietor.

full roof area demolition
partial roof area demolition

For Review

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stamp:



revision	revision description	date
3	FOR APPROVAL	05/24/2019
4	FOR APPROVAL R1	07/17/2019

project title:
PENNSYLVANIA AVENUE SOMERVILLE

47 Pennsylvania Ave
Somerville, MA 02145

client information:
BRIAN TAMM &
NANCY CAMPBELL

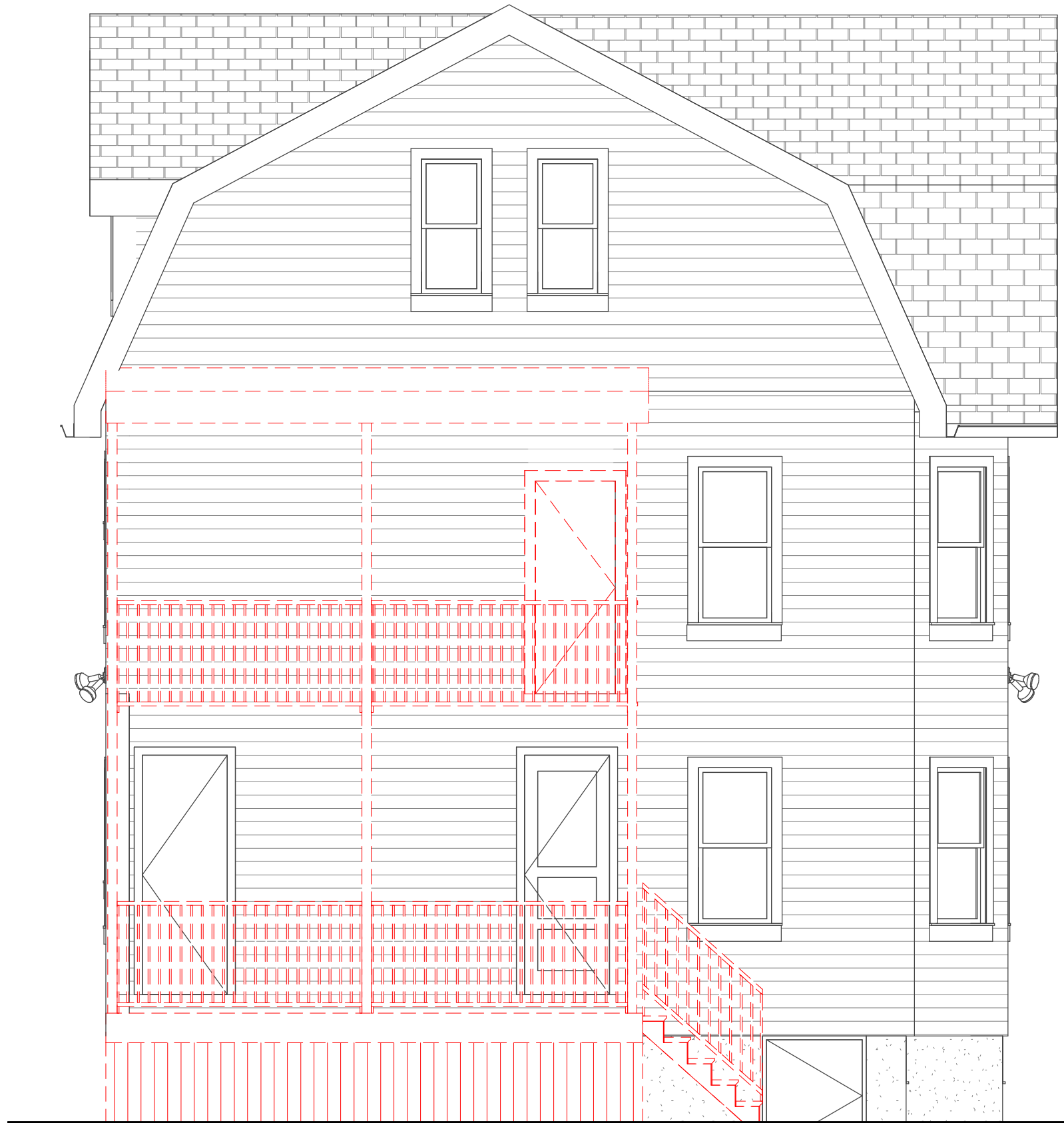
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drawing title
DEMOLITION PLANS

project number	drawing scale	approver
116	As indicated	Approver
drawing number	revision	
A040	4	



② DEMOLITION NORTH ELEVATION
1/4" = 1'-0"



④ DEMOLITION WEST ELEVATION
1/4" = 1'-0"



① DEMOLITION EAST ELEVATION
1/4" = 1'-0"

DEMOLITION LEGEND:

existing full height solid, glazed or part glazed partition to remain.

existing full height solid, glazed or part glazed partition to be demolished

existing door to be demolished

existing wall finish to be removed, to be read in conjunction with proposed works

review demolition scope in association with proposed works to accurately determine the extent of demolition and the extent of works to be retained, over demolition shall be reinstated at no cost to the proprietor.

full roof area demolition

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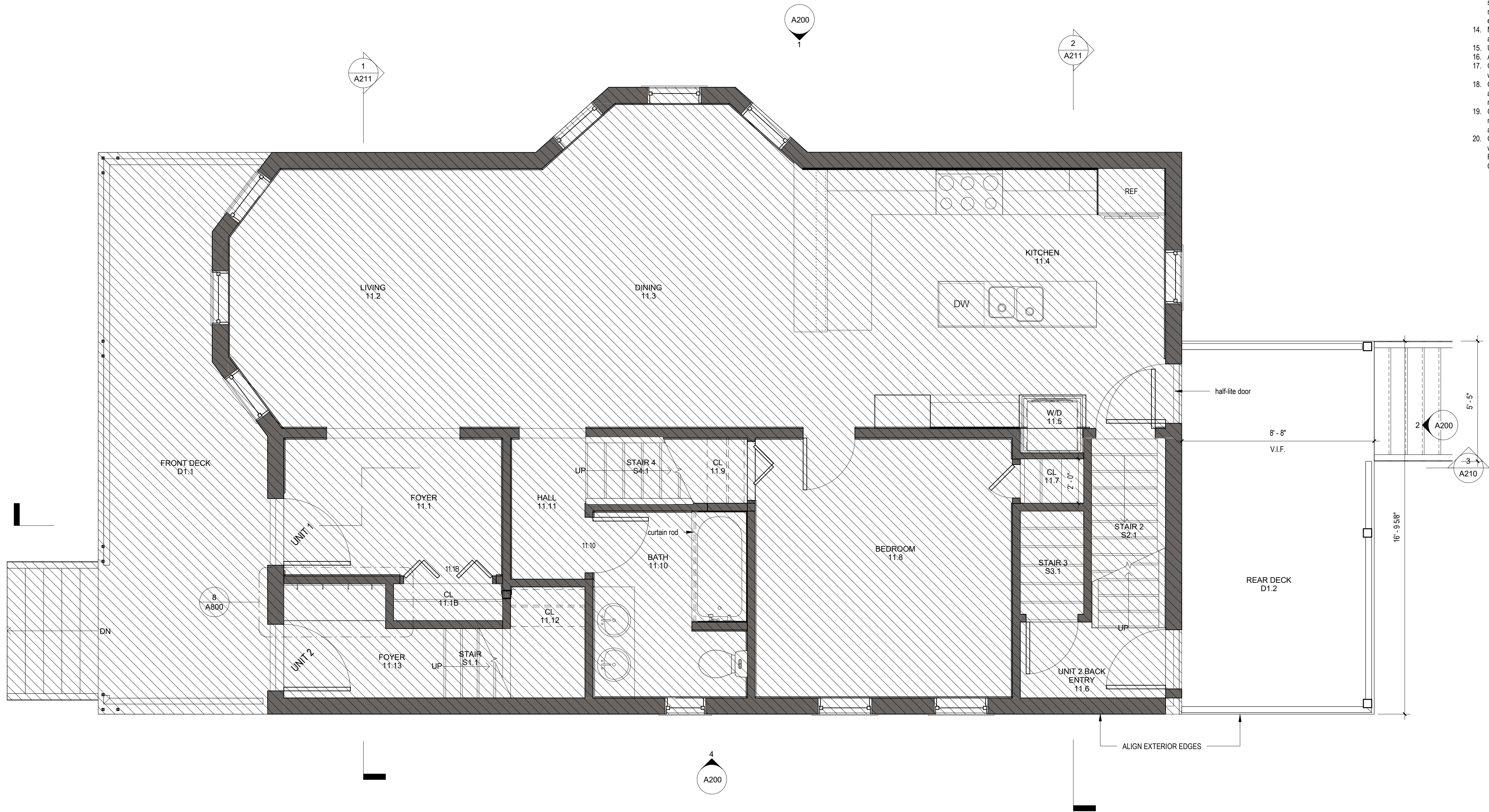
drawing title
**DEMOLITION
ELEVATIONS**

project number	drawing scale	approver
116	As indicated	Approver

drawing number	revision
----------------	----------

A045

4



1 FIRST FLOOR PLAN
3/8" = 1'-0"

Construction Notes

- See sheet A001 for abbreviations and typical mounting heights.
- See sheet A440 for partition type schedule and information
- Use type G.W.B. on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board ("Durock") or equal at partitions scheduled to receive tile. See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions.
- Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of finish. - Dimensions noted as "CLEAR," mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are too top of subfloor. See door schedule for door sizes, frame and details.
- Align vertically & horizontally electrical wall devices including switches, outlets, fire alarm devices, exit signs, emergency lights, etc. When possible within code requirements, and where near each other.
- See RCP for info regarding ceiling type finish, fixtures and all ceiling information.
- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Use water resistance G.W.B. on all wet areas.
- All doors on 2H rated walls to be 1 1/2" rated door.
- G.C. to install acoustic insulation on all interior new walls.
- G.C. to coordinate all floor transition thickness with adequate floor thresholds that do not exceed 1/2" reveal.
- G.C. to coordinate HVAC systems distribution with new lighting and ceiling layout contact architect with any conflict.
- G.C. to keep a continuous building thermal envelop wall R-20, roof R-38, basement wall R-10, floor R-30. In accordance with IBC energy efficiency Chapter 11.

Construction Legend

- existing full height solid, glazed or part glazed partition to remain.
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed work
- existing door to remain
- new door
- demolition hatch
- partial area demolition
- NIC - Not In Construct Hatch

For Review

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stamp:



revision	revision description	date
1	Meeting Revision	12/05/2018
3	FOR APPROVAL	05/24/2019
4	FOR APPROVAL R1	07/17/2019

project title:
PENNSYLVANIA AVENUE SOMERVILLE

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Somerville, MA 02145

client information:
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NANCY CAMPBELL

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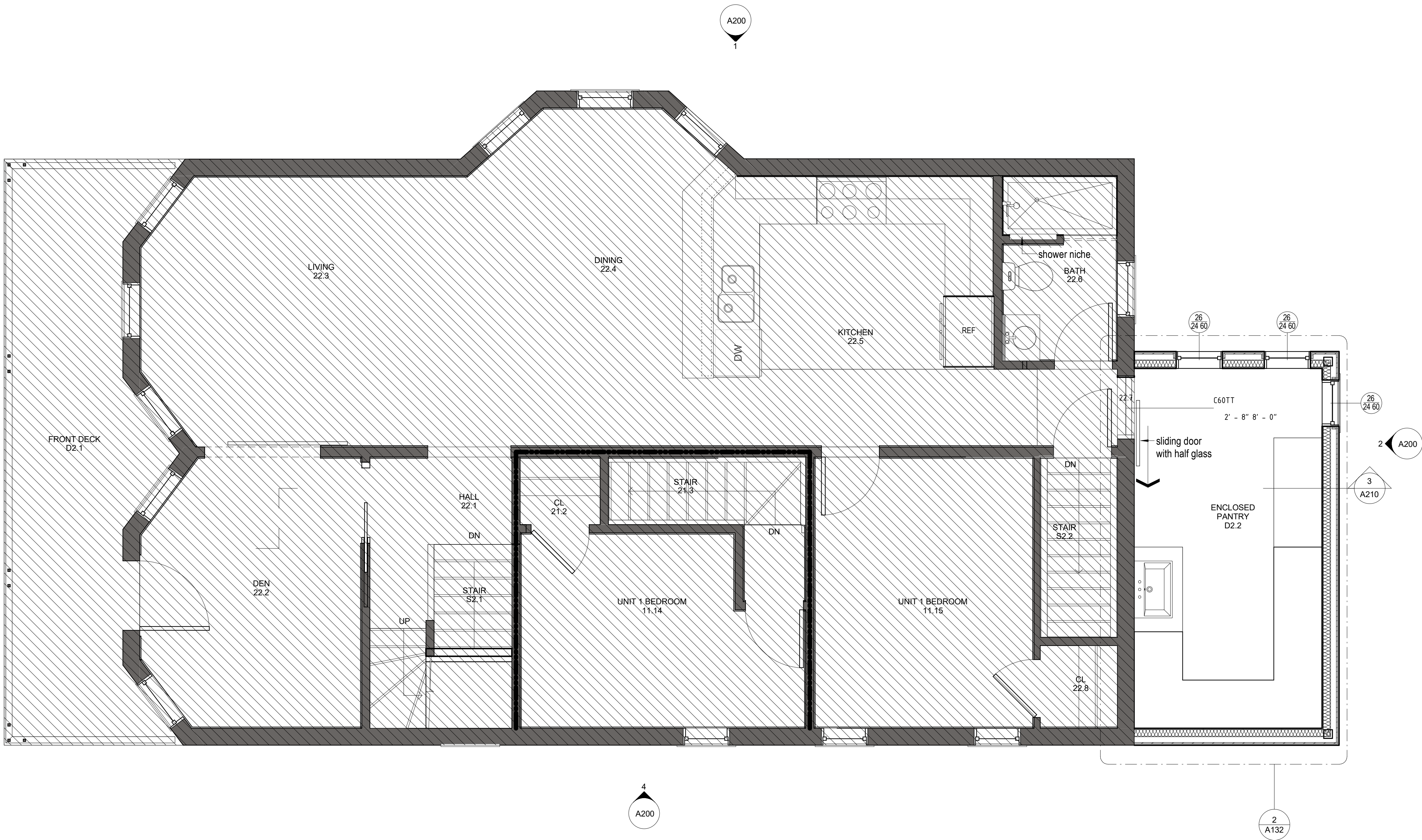
drawing title
FIRST FLOOR PLAN

project number	drawing scale	approver
116	As indicated	Approver

drawing number	revision
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A111

4



1 SECOND FLOOR PLAN
3/8" = 1'-0"

Construction Notes

- See sheet A001 for abbreviations and typical mounting heights.
- See sheet A440 for partition type schedule and information
- Use type GVB on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board ("Durock") or equal at partitions scheduled to receive tile. See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions.
- Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of finish. - Dimensions noted as "CLEAR," mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are too top of subfloor. See door schedule for door sizes, frame and details.
- Align vertically & horizontally electrical wall devices including switches, outlets, fire alarm devices, exit signs, emergency lights, etc. When possible within code requirements, and where near each other.
- See RCP for info regarding ceiling type finish, fixtures and all ceiling information.
- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Use water resistance GVB on all wet areas.
- All doors on 2H rated walls to be 1 1/2" rated door.
- G.C. to install acoustic insulation on all interior new walls.
- G.C. to coordinate all floor transition thickness with adequate floor thresholds that do not exceed 1/2" reveal.
- G.C. to coordinate HVAC systems distribution with new lighting and ceiling layout contact architect with any conflict.
- G.C. to keep a continuous building thermal envelop wall R-20, roof R-38, basement wall R-10 , floor R-30. In accordance with IBC energy efficiency Chapter 11.

Construction Legend

- existing full height solid, glazed or part glazed partition to remain
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
- existing door to remain
- new door
- demolition hatch
- partial area demolition
- NIC - Not In Construct Hatch

For Review

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revision	revision description	date
1	Meeting Revision	12/05/2018
3	FOR APPROVAL	05/24/2019
4	FOR APPROVAL R1	07/17/2019

project title:
PENNSYLVANIA AVENUE SOMERVILLE

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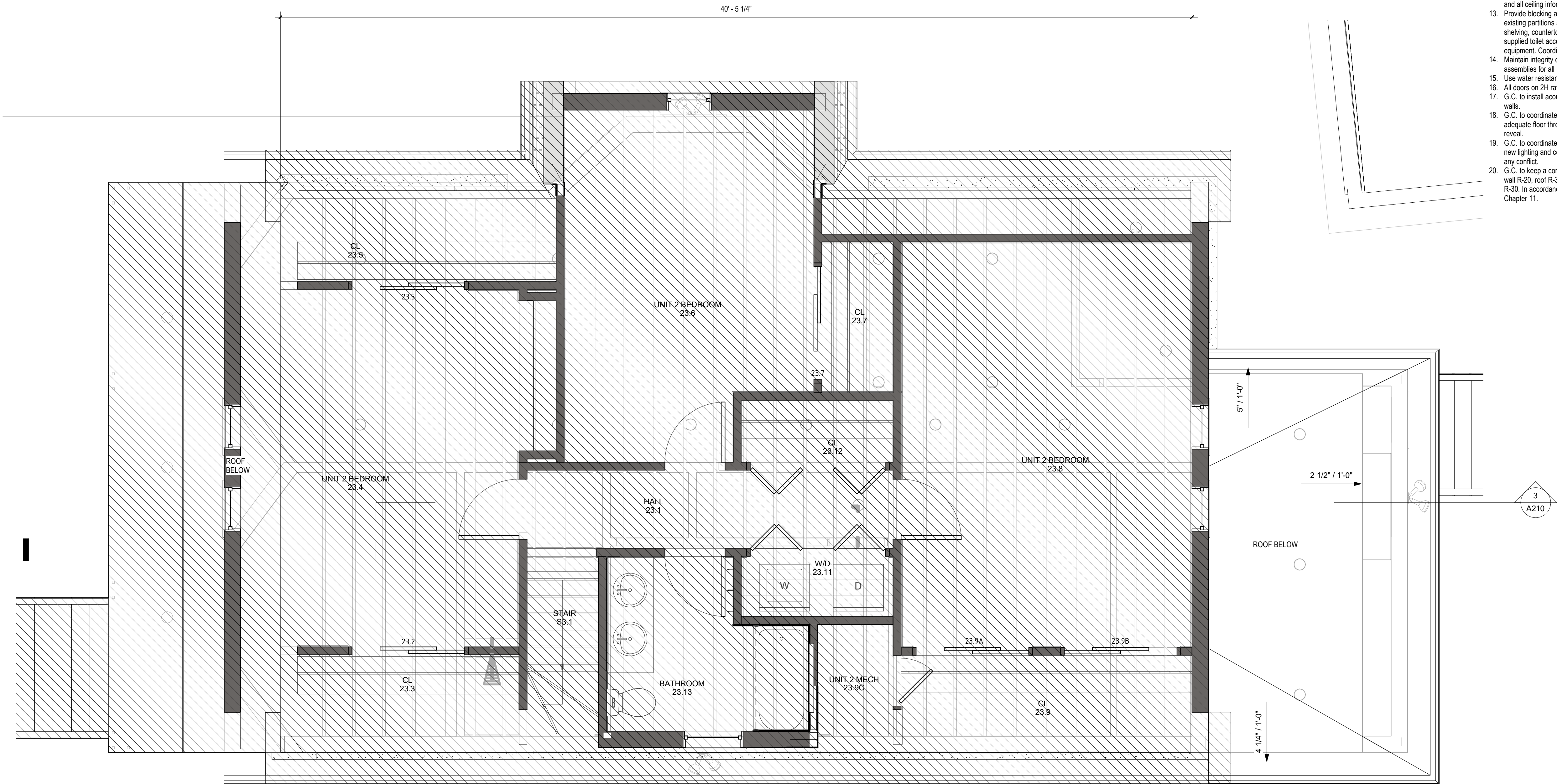
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drawing title
SECOND FLOOR PLAN

project number	drawing scale	approver
116	As indicated	Approver
drawing number	revision	
A112	4	



1 THIRD FLOOR PLAN
3/8" = 1'-0"

Construction Notes

- See sheet A001 for abbreviations and typical mounting heights.
- See sheet A440 for partition type schedule and information.
- Use type GWB on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive tile. See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions.
- Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of finish. - Dimensions noted as "CLEAR," mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are too top of subfloor. See door schedule for door sizes, frame and details.
- Align vertically & horizontally electrical wall devices including switches, outlets, fire alarm devices, exit signs, emergency lights, etc. When possible within code requirements, and where near each other.
- See RCP for info regarding ceiling type finish, fixtures and all ceiling information.
- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Use water resistance CWB on all wet areas.
- All doors on 2H rated walls to be 1 1/2" rated door.
- G.C. to install acoustic insulation on all interior new walls.
- G.C. to coordinate all floor transition thickness with adequate floor thresholds that do not exceed 1/2" reveal.
- G.C. to coordinate HVAC systems distribution with new lighting and ceiling layout contact architect with any conflict.
- G.C. to keep a continuous building thermal envelop wall R-20, roof R-36, basement wall R-10, floor R-30. In accordance with IBC energy efficiency Chapter 11.

Construction Legend

- existing full height solid, glazed or part glazed partition to remain.
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
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- demolition hatch
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revision	revision description	date
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project title:
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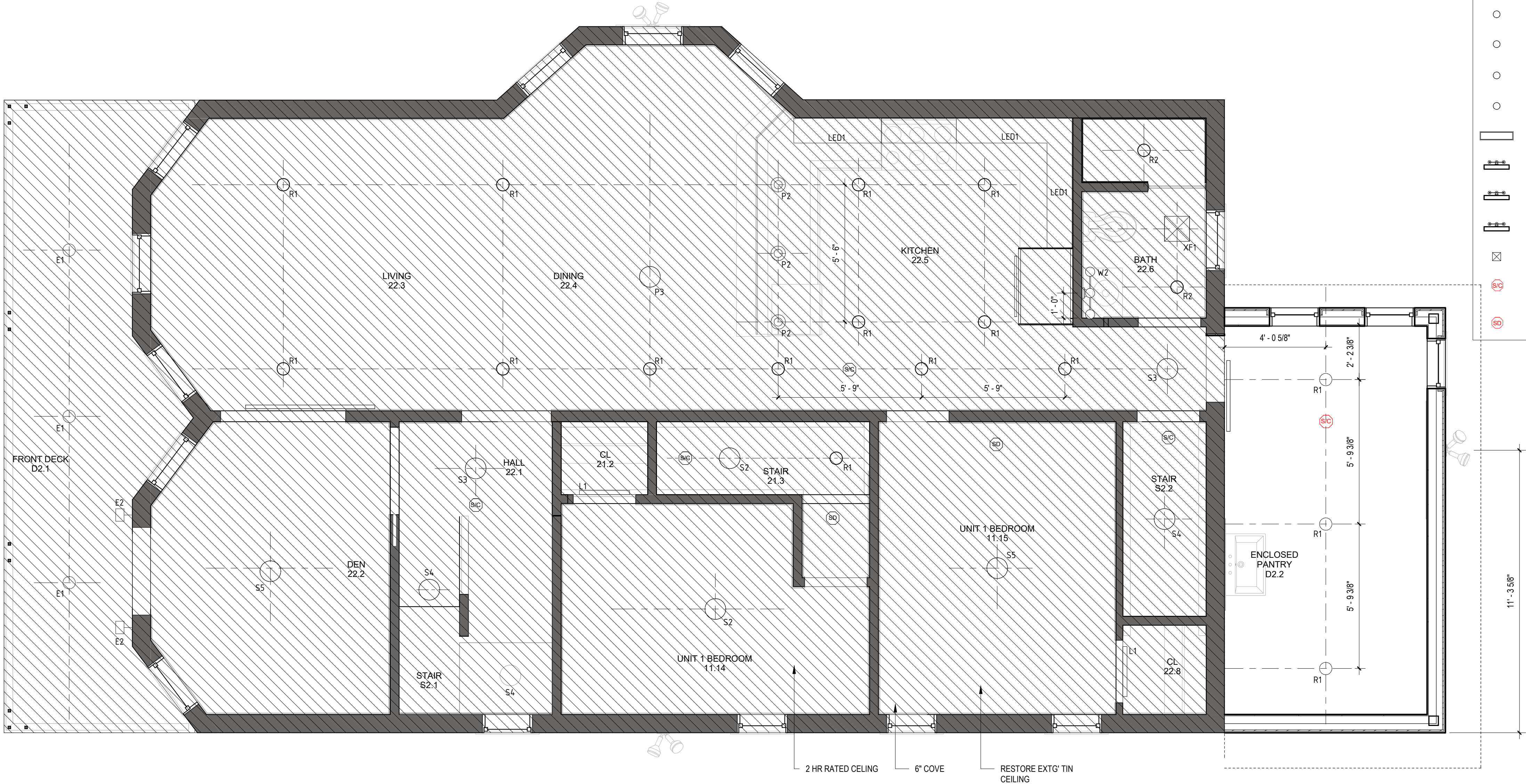
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drawing title
THIRD FLOOR PLAN

project number	drawing scale	approver
116	As indicated	Approver
drawing number	revision	
A113	4	

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LIGHTING FIXTURE SCHEDULE													
Type Mark	Count	Description	Manufacturer	Model	Dimensions			Lamp			Control	Mounting	Remarks
					W	D	H	No.	Type	Watts			
CF1	2	Ceiling Fan w/ Downlight											
E1	9	Exterior Surface Mounted Downlight											
E2	5	Portsmouth Outdoor Entrance Wall Sconce	Signature Hardware	941509	8"	8"	9"						
FL	4	Exterior Wall Mounted Flood Lights	TBD	-									
L1	6	2' LED Closet Linear Fixture											
L2	9	4' LED Closet Linear Fixture											
LED1	6	LED Under Cabinet Strip											
P1	3	Colorful Warehouse Loft Shade Pendant - Gray	Shades Of Light	PE09061A GY	16"	16"	8.5"						
P2	3	Truncated Cone Shade Pendant - Small	Shades Of Light	PE18064 BP	10"	10"	8.5"						
P3	1	Clear Glass Sphere Chandelier	Shades Of Light	CH13114A PN	17"	17"	16"						
R1	34	Recessed Light											
R2	8	Recessed Light Wet Location											
R3	8	Recessed Light Directional Downlight											
S1	2	1 - Light Semi Flush Mount	Stonecrest	LFMF3862	10"	10"	6"						
S2	6	Replay 2 - Light Flushmount w/ Etched White Glass	Progress Lighting	P3423-31	14"	14"	6"						
S3	4	Iconic Color Pop Dome Ceiling Light - Small - Navy	Shades Of Light	FM18013S NV	11"	11"	5"						
S4	3	Mod Mix White Globe Semi-Flush Ceiling Light - Large - Satin Brushed Nickel/ White	Shades Of Light	FM18169 SN	8"	8"	11"						
S5	3	Sleek Cylinder Ceiling Light - Large	Shades Of Light	FM15042 BN									
SM1	8	Surface Mounted Linear Fixture											
W1	1	Geneva 1 - Light Chrome Rectangle Vanity Light Bar	Access Lighting	31011-CH/OPL	36.6"	3.5"	4"						
W2	1	Minimalist Edison 2 - Light Sconce	Shades Of Light	BS13058	14.5"	5"	5"						
W3	1	Elderly Vanity Sconce - Single LED Light - Brushed Nickel	Signature Hardware	428018	24"	3.5"	5.5"						
XF1	2	Bathroom Exhaust Fan											
Grand total: 129													



1 SECOND FLOOR REFLECTED CEILING
3/8" = 1'-0"

Ceiling Plan Legend

note: refer to service engineer's drawings for details of ceiling services. symbols shown on architectural drawings are indicative symbols only.

- CF1 - CEILING FAN W/ LIGHTING
- E1 - EXTERIOR SURFACE MOUNTED FIXTURE
- E2 - EXTERIOR WALL MOUNTED SCONCE
- L1 - LINEAR CLOSET FIXTURE (2')
- L2 - LINEAR CLOSET FIXTURE (4')
- LED - LINEAR LED UNDER CABINET
- P1 - PENDANT (UNIT 1)
- P2 - PENDANT (UNIT 2)
- R1 - RECESSES DOWNLIGHT
- R2 - RECESSED DOWNLIGHT @ WET LOCATION
- R3 - RECESSED DIRECTIONAL DOWNLIGHT
- S1 - SURFACE MOUNTED CEILING FIXTURE
- S2 - SURFACE MOUNTED CEILING FIXTURE
- S3 - SURFACE MOUNTED CEILING FIXTURE
- S4 - SURFACE MOUNTED CEILING FIXTURE
- S5 - SURFACE MOUNTED CEILING FIXTURE
- S6 - SURFACE MOUNTED CEILING FIXTURE
- S7 - SURFACE MOUNTED CEILING FIXTURE
- SM1 - SURFACE MOUNTED LINEAR
- W1 - WALL MOUNTED VANITY FIXTURE
- W2 - WALL MOUNTED VANITY FIXTURE
- W3 - WALL MOUNTED VANITY FIXTURE
- XF1 - EXHAUST FAN
- S/C - SMOKE & CARBON DETECTOR
- SD - SMOKE DETECTOR

Reflected Ceiling Notes

- ceiling level throughout to be nominal 2850mm a.f.f.i. unless noted otherwise.
- all lighting, mechanical and fire services shown on the reflected ceiling plan are indicative only, refer to mechanical, electrical and fire engineers drawings and documents for details of services. architectural drawings are to be used for setout purposes only.
- ceiling heights are taken from the slab level in which the room is associated with.
- all pendant and surface mounted lighting heights above finish floor (a.f.f.) are to be determined in the field.
- m3 - 45 pitch soffit with integrated demonstration mirror and web camera.
- refer to engineers drawings and specifications for scope of sprinklers and fire suppression devices.
- location of ceiling set outs to be provided during construction documentation.
- bleacher soffit c/s to have cavity completely filled with acoustic insulation.
- contractor to comply with the ibc and local state building code, and all relevant codes, in accordance with the fire rating of all mechanical services where applicable, including vertical and horizontal applications. all fire rating to these services to occur within ceiling cavity for horizontal applications, and within ducts for vertical applications. refer also to services consultants documentation.
- all ceilings @ first floor to have x2 layers of gwb for fire separation.

For Review

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revision	revision description	date
1	Meeting Revision	12/05/2018
3	FOR APPROVAL	05/24/2019
4	FOR APPROVAL R1	07/17/2019

project title:
PENNSYLVANIA AVENUE SOMERVILLE

47 Pennsylvania Ave
Somerville, MA 02145

client information:
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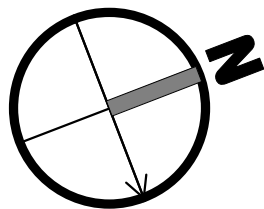
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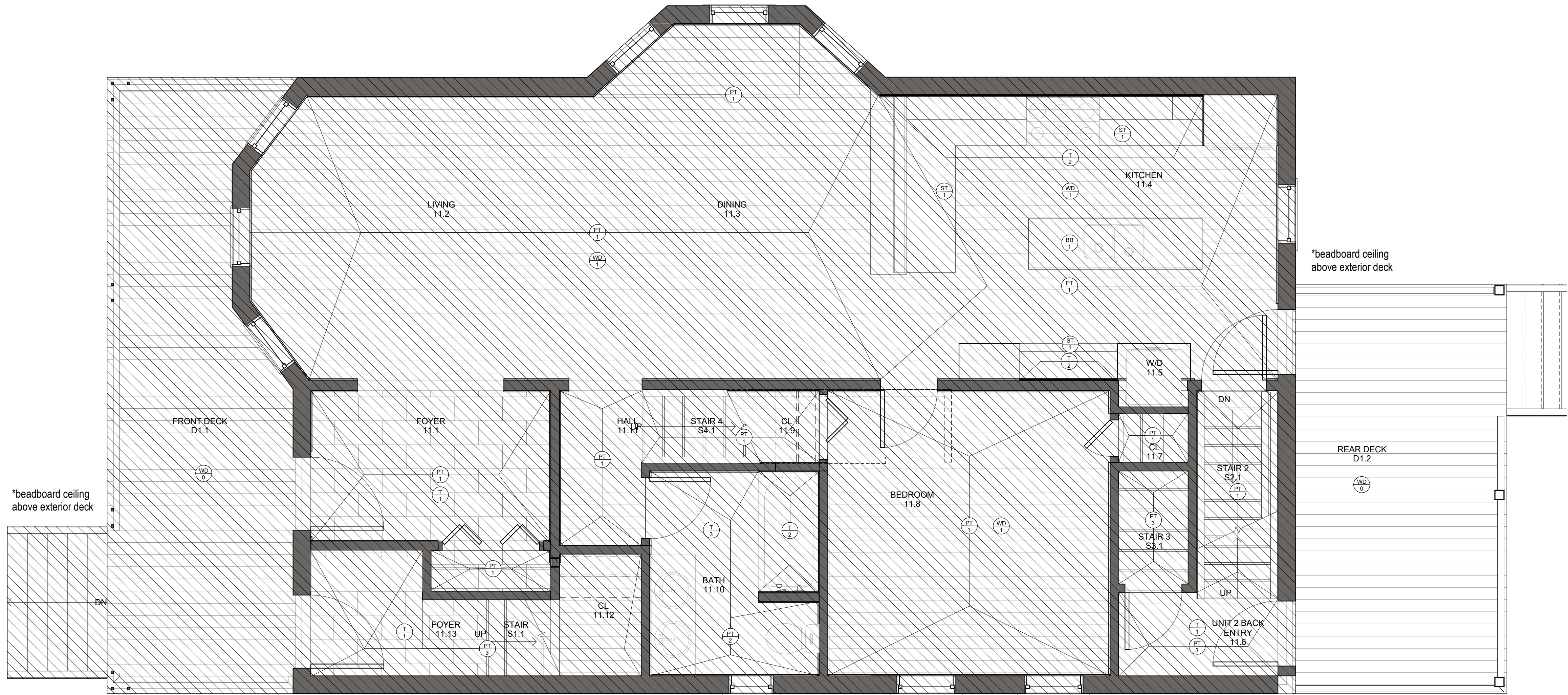
drawing title
**SECOND FLOOR
REFLECTED CEILING**

project number	drawing scale	approver
116	As indicated	Approver
drawing number	revision	
A122	4	

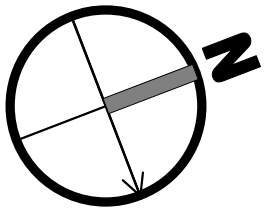


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FINISH SCHEDULE			
Mark	Materials	Location	Description
BB1	Butcher Block	Unit 1 - Kitchen Counter Top	
PT0	Paint	Basement Walls	
PT1	Paint	Unit 1 - Throughout	
PT1.1	Paint	Unit 1 - Ceiling	
PT2	Paint	Unit 1 - Bathroom	
PT2.1	Paint	Unit 1 - Bathroom Ceiling	
PT3	Paint	Unit 2 - Foyer, Stairs & Hall	
PT3.1	Paint	Unit 2 - Ceiling	
PT4	Paint	Unit 2 - Den	
PT5	Paint	Unit 2 - Living Room, Dining Room & Kitchen	
PT5.1	Paint	Unit 2 - Ceiling	
PT6	Paint	Unit 2 - Bathrooms	
PT7	Paint	Unit 2 - Bedrooms	
ST1	Stone	Unit 1 - Kitchen Counter Top	
ST2	Stone	Unit 2 - Kitchen Counter Top & Enclosed Pantry Counter Top	
T1	Tile	Unit 1 - Foyer Flooring & Unit 2 - Entry Points & Enclosed Pantry Flooring	
T2	Tile	Unit 1 - Kitchen Backsplash & Bathroom Shower Walls	
T3	Tile	Unit 1 - Bathroom Flooring	
T4	Tile	Unit 2 - Kitchen Backsplash & Enclosed Pantry Backsplash	
T5	Tile	Unit 2 - Kitchen Flooring	
T6	Tile	Unit 2 - Second Floor Bathroom Walls	
T7	Tile	Unit 2 - Second Floor Bathroom Flooring	
T8	Tile	Unit 2 - Third Floor Bathroom Walls	
T9	Tile	Unit 2 - Third Floor Bathroom Flooring	
WB	Baseboard	Throughout	
WD0	Wood Exterior Decking	Unit 1 & Unit 2 - Exterior Deck Front & Rear	
WD1	Wood Floor	Unit 1 - Throughout Including Stair	
WD2	Wood Floor	Unit 2 - Throughout Including Stair	



1 FIRST FLOOR FINISH PLAN
3/8" = 1'-0"



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project title:
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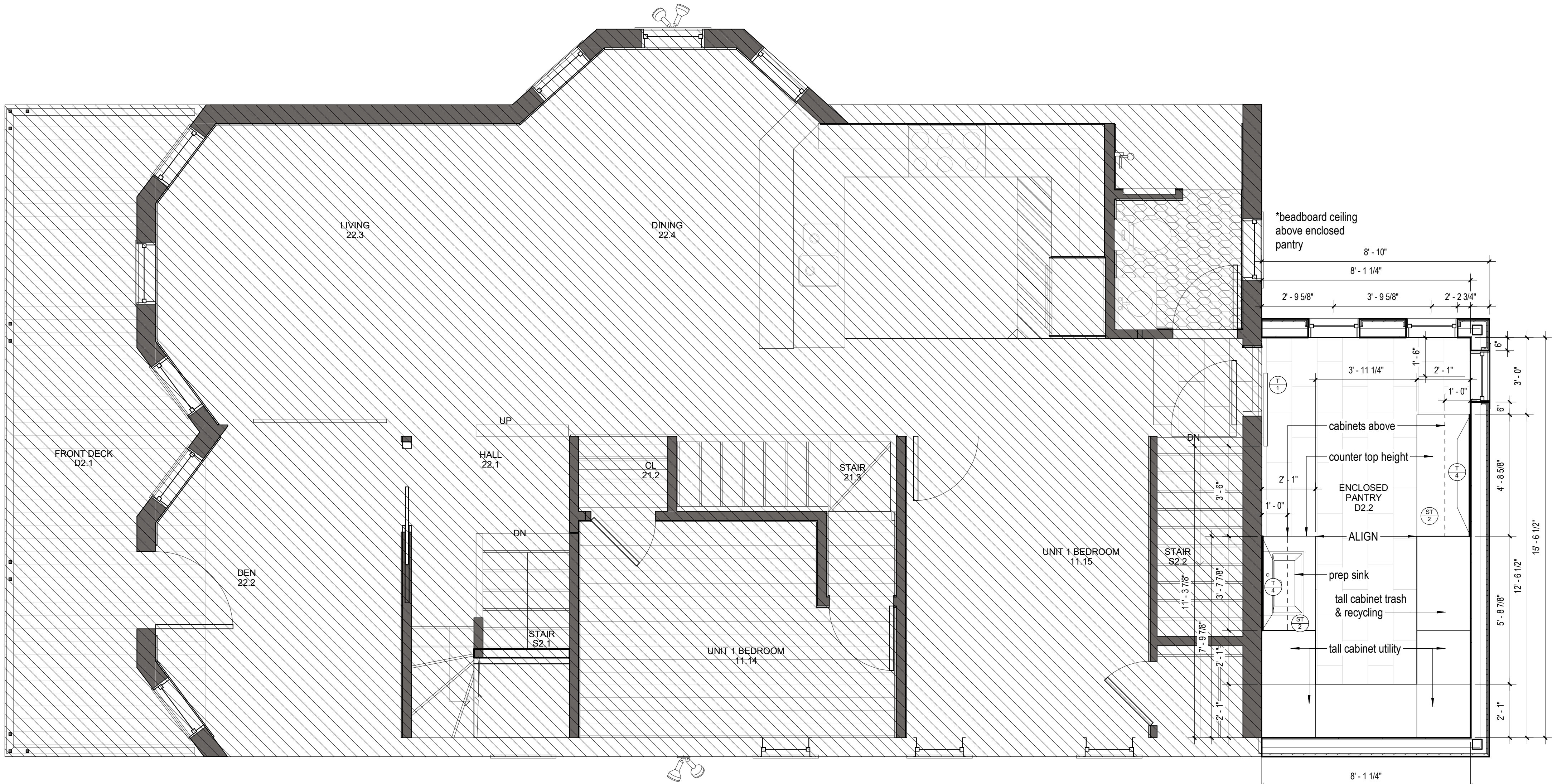
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drawing title
FIRST FLOOR FINISH PLAN

project number	drawing scale	approver
116	3/8" = 1'-0"	Approver
drawing number	revision	
A131	4	

7/17/2019 10:49:31 AM W:\1_Arch Projects\116 PENNSYLVANIA AVE SOMERVILLE\01 Revit\116 PENNSYLVANIA AVE SOMERVILLE_VARIANCE.rvt

FINISH SCHEDULE			
Mark	Materials	Location	Description
BB1	Butcher Block	Unit 1 - Kitchen Counter Top	
PT0	Paint	Basement Walls	
PT1	Paint	Unit 1 - Throughout	
PT1.1	Paint	Unit 1 -Ceiling	
PT2	Paint	Unit 1 - Bathroom	
PT2.1	Paint	Unit 1 - Bathroom Ceiling	
PT3	Paint	Unit 2 - Foyer, Stairs & Hall	
PT3.1	Paint	Unit 2 -Ceiling	
PT4	Paint	Unit 2 - Den	
PT5	Paint	Unit 2 - Living Room, Dining Room & Kitchen	
PT5.1	Paint	Unit 2 - Ceiling	
PT6	Paint	Unit 2 - Bathrooms	
PT7	Paint	Unit 2 - Bedrooms	
ST1	Stone	Unit 1 - Kitchen Counter Top	
ST2	Stone	Unit 2 - Kitchen Counter Top & Enclosed Pantry Counter Top	
T1	Tile	Unit 1 - Foyer Flooring & Unit 2 - Entry Points & Enclosed Pantry Flooring	
T2	Tile	Unit 1 - Kitchen Backsplash & Bathroom Shower Walls	
T3	Tile	Unit 1 - Bathroom Flooring	
T4	Tile	Unit 2 - Kitchen Backsplash & Enclosed Pantry Backsplash	
T5	Tile	Unit 2 - Kitchen Flooring	
T6	Tile	Unit 2 - Second Floor Bathroom Walls	
T7	Tile	Unit 2 - Second Floor Bathroom Flooring	
T8	Tile	Unit 2 - Third Floor Bathroom Walls	
T9	Tile	Unit 2 - Third Floor Bathroom Flooring	
WB	Baseboard	Throughout	
WD0	Wood Exterior Decking	Unit 1 & Unit 2 - Exterior Deck Front & Rear	
WD1	Wood Floor	Unit 1 - Throughout Including Stair	
WD2	Wood Floor	Unit 2 - Throughout Including Stair	



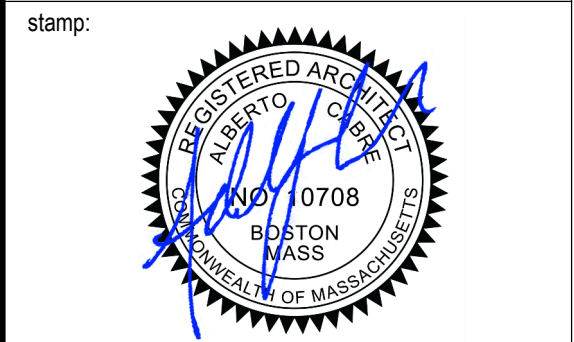
2 SECOND FLOOR FINISH PLAN
PROPOSED ENCLOSED PANTRY
3/8" = 1'-0"

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project title:
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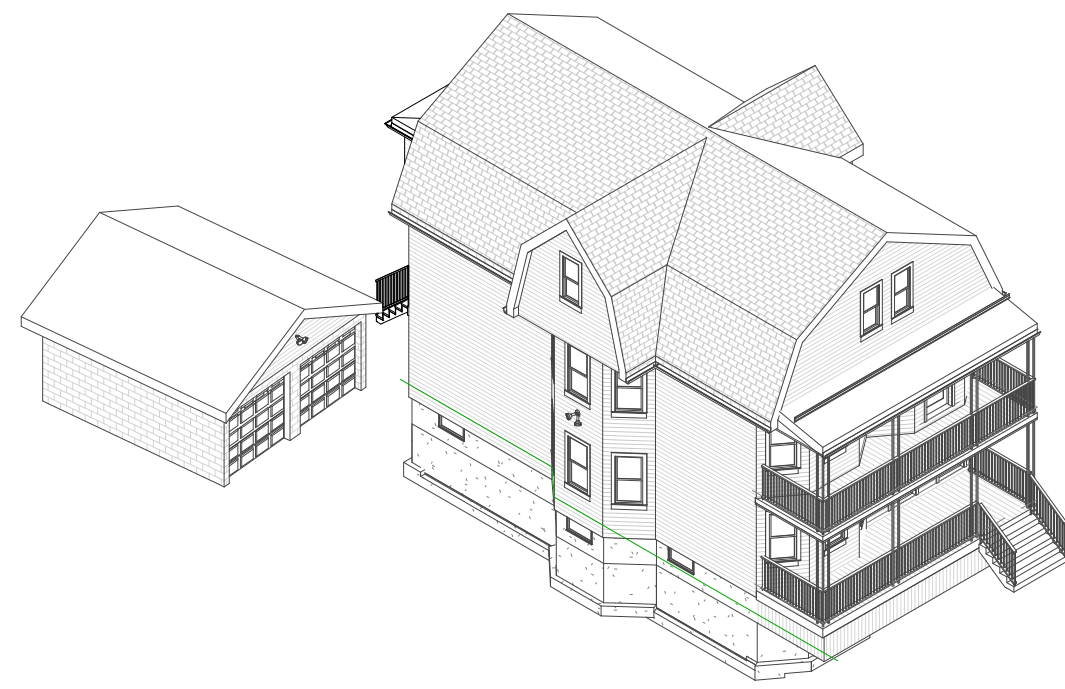
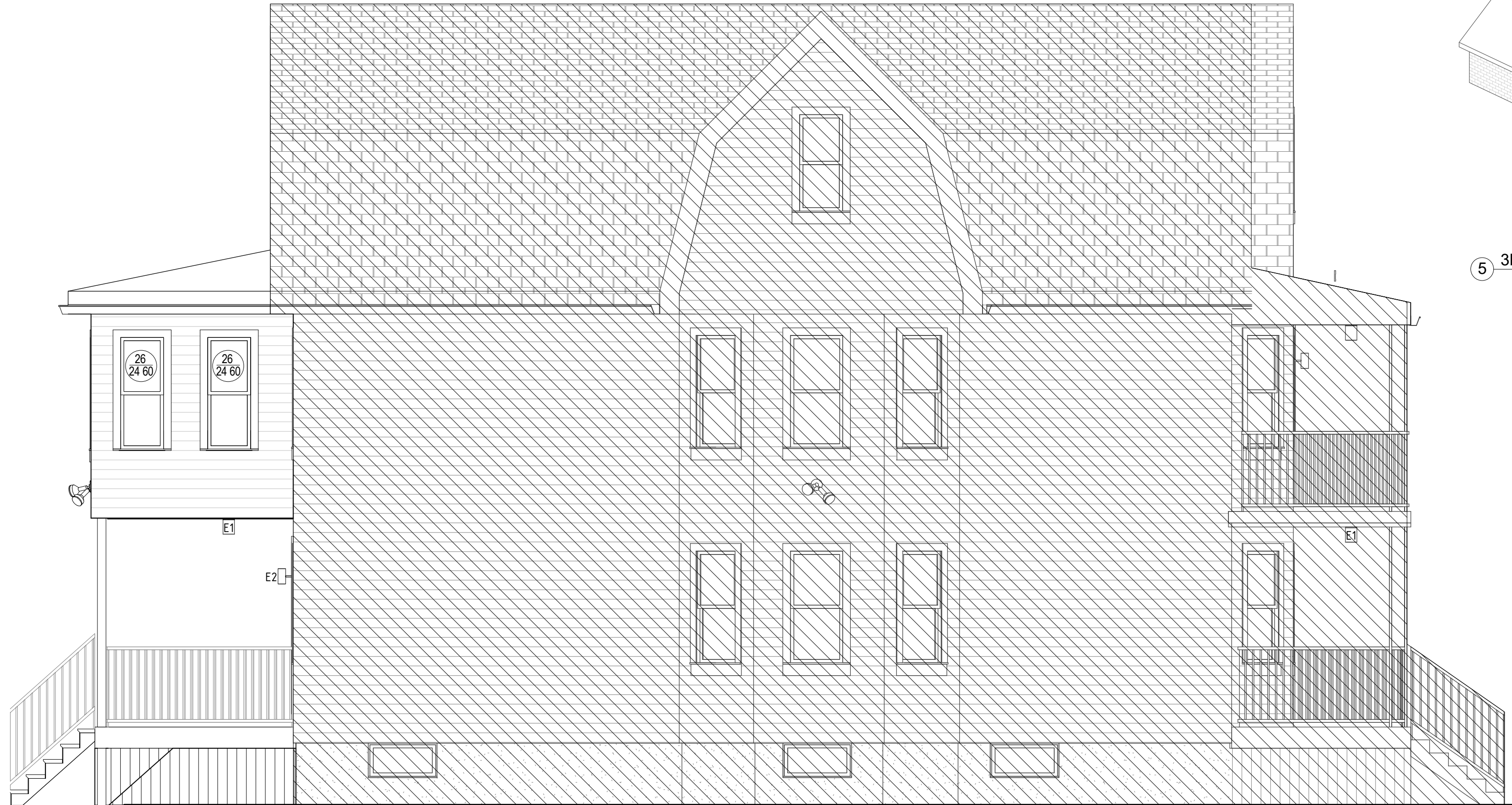
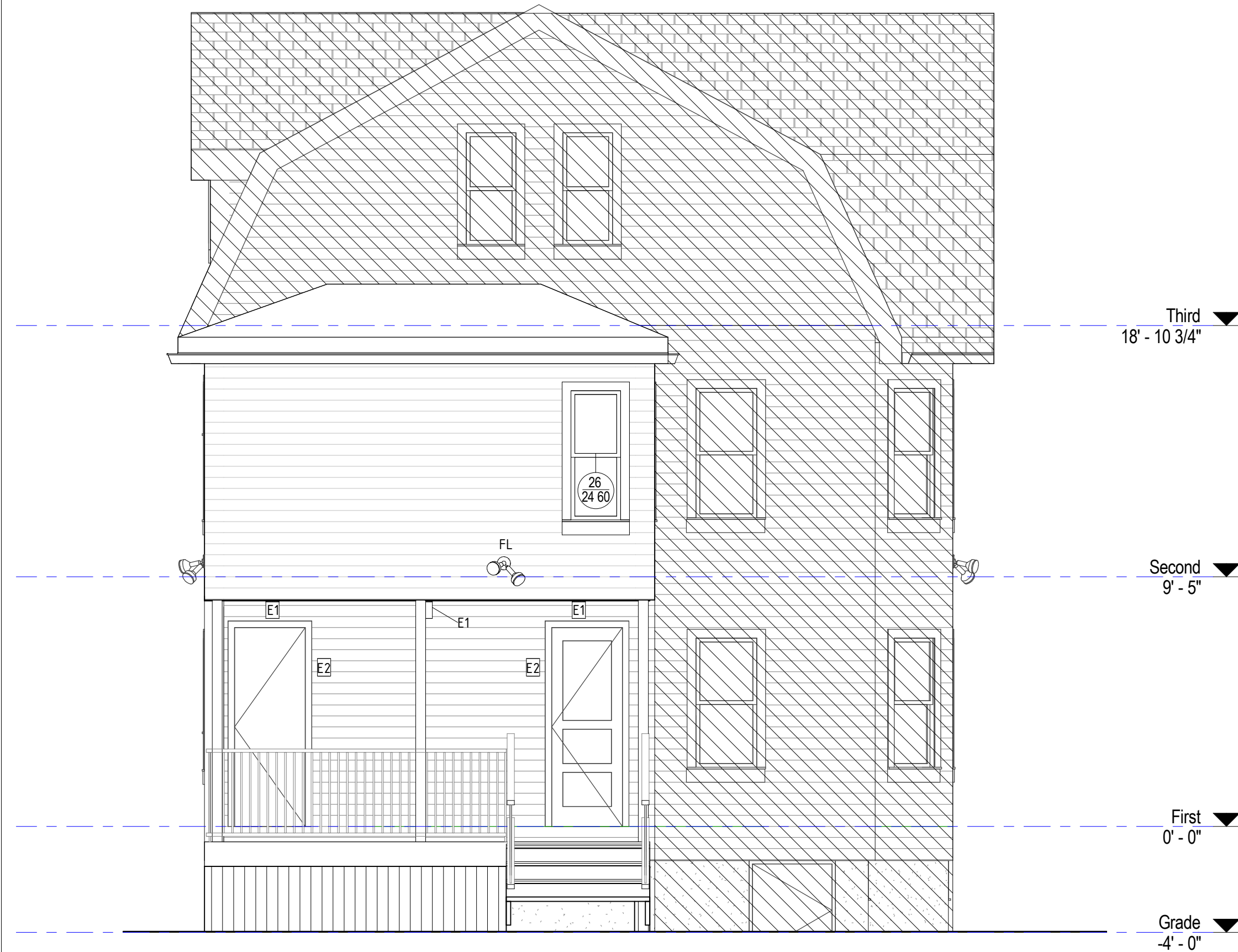
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drawing title
SECOND FLOOR FINISH
PLAN

project number 116	drawing scale 3/8" = 1'-0"	approver Approver
drawing number A132	revision	4



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revision	revision description	date
1	Meeting Revision	12/05/2018
3	FOR APPROVAL	05/24/2019
4	FOR APPROVAL R1	07/17/2019

project title:
PENNSYLVANIA AVENUE SOMERVILLE

47 Pennsylvania Ave
Somerville, MA 02145

client information:
BRIAN TAMM &
NANCY CAMPBELL

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drawing title
**EXTERIOR BUILDING
ELEVATIONS**

project number 116	drawing scale 1/4" = 1'-0"	approver Approver
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drawing number A200	revision 4
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7/17/2019 10:49:34 AM W:\1_Achie Projects\116 PENNSYLVANIA AVE SOMERVILLE\01 Revit\116 PENNSYLVANIA AVE SOMERVILLE_VARIANCE.rvt



3 BUILDING SECTION
3/8" = 1'-0"

FIRE RATING LEGEND
----- 2 HR RATING

For Review

WARNING:
Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or hand. All work to comply with I.B.C. Regulations and relevant American Standards. © 2019- all rights reserved

consultant / contractor information:
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stamp:



revision	revision description	date
3	FOR APPROVAL	05/24/2019
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project title:
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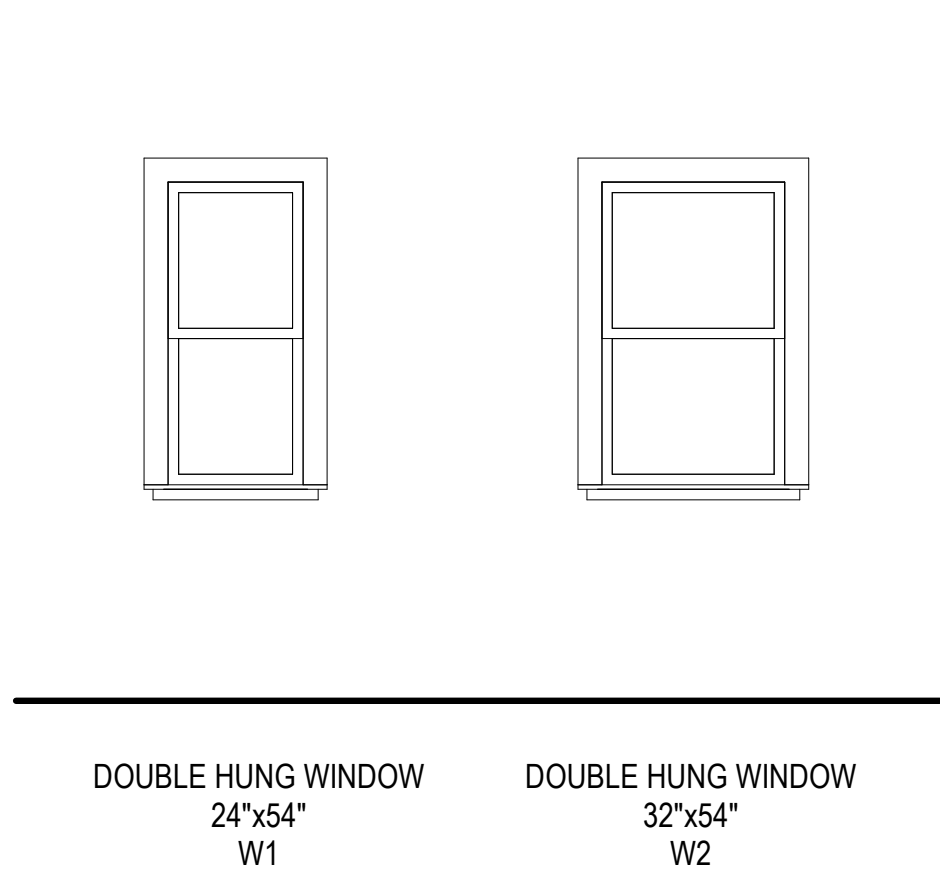
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drawing title
BUILDING SECTIONS

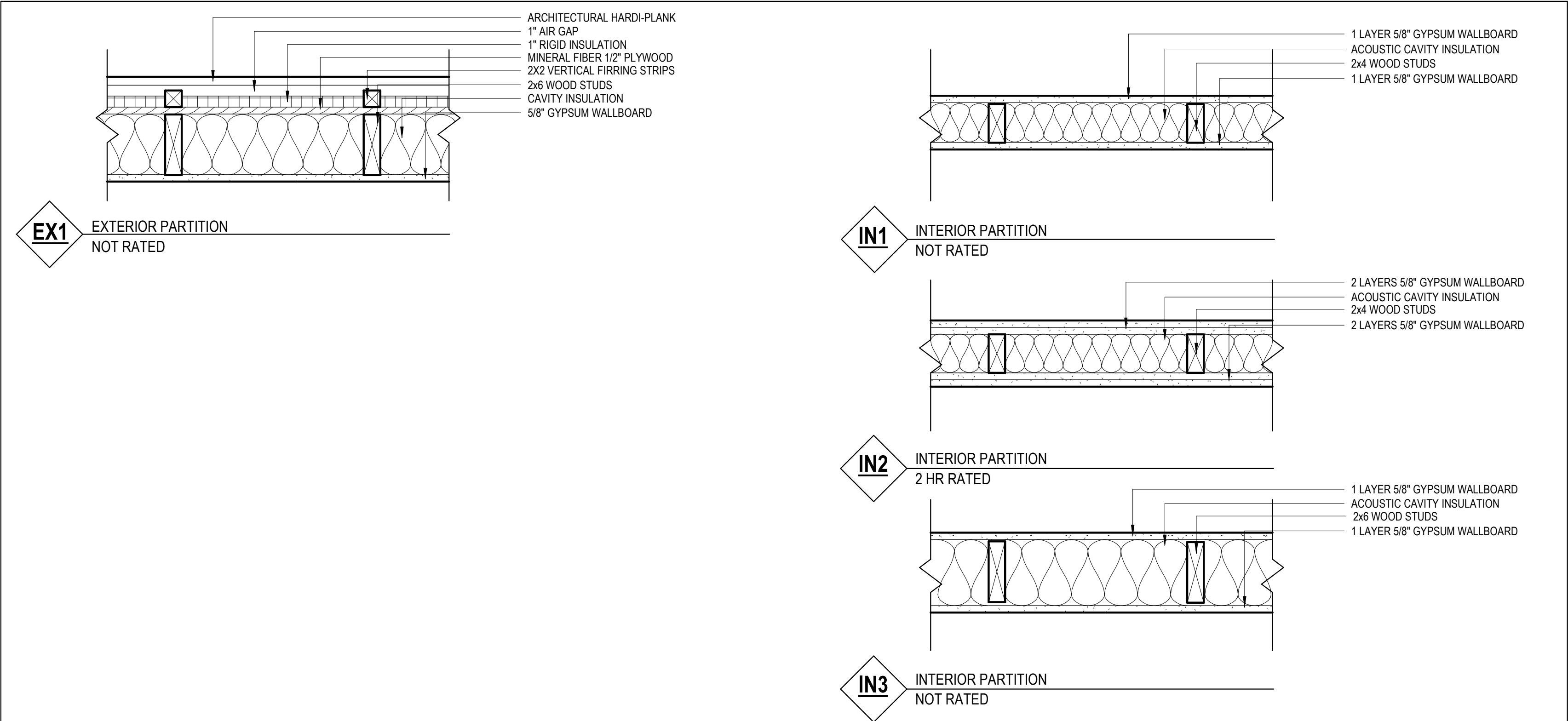
project number	drawing scale	approver
116	As indicated	Approver

drawing number	revision
A210	4



WINDOW SCHEDULE						
TYPE MARK	SIZE		QUANTITY	TYPE	Manufacturer	Model
	WIDTH	HEIGHT				
26	2' - 0"	5' - 0"	3	24x60		

WALL TYPE LEGEND



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drawing title
SCHEDULES

project number 116	drawing scale As indicated	approver Approver
drawing number A431		revision 4